ADDENDUM #2



Project: No. 22-520

Improvements for: Flushing Township Hall 6424 N. Seymour Rd Flushing, MI 48433

Architect: H2A Architects Inc.

9100 Lapeer Rd.

Suite B

Davison, MI 48423 810-412-5640

Issue Date: August 26, 2025

GENERAL NOTES

The following are changes, clarifications, and additions made in specification and working drawings prior to receipt of bids and shall be noted by the Contractor responsible for the same. All of these items shall be considered part of the Contract Documents.

The general character of the work required by this addendum shall be the same as originally specified, and all incidentals required in connection with the work hereinafter described shall be included even though not specifically mentioned.

The Contractor shall be held responsible to include and adjust the work of all trades involved as required to complete the work described hereinafter. All bidders shall review Addendum as it alters the work shown on the drawings and specifications.

ITEMS INCLUDE

Item #1: Refer to Drawing Sheet A100 (attached)

Division #6 – Wood: Brackets shall have a minimum weight capacity of 525 #/pair.

<u>Item #2:</u> Refer to Drawing Sheet A103 (attached)

Ceiling elevations are added to rooms as shown on drawing.

<u>Item #3:</u> Refer to Drawing Sheet A104 (attached)

Added Detail 3/A104 ADA Counter Wall Section. Revised Interior Elevation, Partial Floor Plan

and Wall Sections for clarity.

<u>Item #4</u> Refer to Drawing Sheet A106 (attached)

Revised Room Finish Schedule as shown on drawing.

<u>Item #5:</u> Refer to Drawing Sheet 102 (attached)

Revised Door 111 in Office 103 as shown on drawing. Adjust hardware to coordinate at time

of ordering.

<u>Item #6</u>: Refer to Sheet G001 Title Sheet, South Elevation Rendering Detail 3, also A100 Specifications,

Division 4 – Masonry, Sheets A103 Reflected Ceiling and Plan Elevations and A105 Wall

Sections and Details, Brick.

The types of brick shall be as follows or equal:

Match Existing: Belden Modular Ash Ridge Blend Course Velour 78-219098

Color #1 Rowlock Sill Band: Belden 8520 Coarse Velour Color #2 Brick Infill: Belden 24-13 Modular Dusty Gray

<u>Item #7:</u> Refer to Sheet A100 Specifications, Division 6 - Wood, Counter tops.

Base Bid Formica shall be as follows or equal:

Formica Color: Silver Quartzite 9497-58 - or- Star Dune 9309-58. Solid Surface Corian Color: Smoke Drift Prima. (Alternate #3)

Item #8: Refer to Addendum #1 Item 3, and Sheet A100 Specifications, Division 8 - Doors and Windows.

Disregard Item 3 of Addendum #1. Matching doors with Masonite doors are no longer in production. Doors shall be as specified with wood veneer solid core doors. Veneer shall be Red or White Oak (field finished to match existing Walnut finish), select white face veneer. Plain sliced, random matched, to best match the existing Masonite doors. Algoma, Graham and Mohawk Doors have been consolidated into other companies and may no longer be

available.

Item #9: Refer to Sheet A100 Specifications, Division 10 – Specialties, Signage.

Provide ADA signs as specified. Sign Schedule is attached.

ADA Room signs 6" x 6" provide 2 under Base Bid and 1 under Alternate # 1.

ADA Room Signs 4" x 8" provide 2 under Base Bid. (This schedule is exclusive of fire rated wall signage.)

H2A Architects

Jackie Hoist

DIVISION 2 - DEMOLITION:

PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS. PREVENT MOVEMENT OR SETTLEMENT. PROTECT ITEMS TO REMAIN. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES, SITE AREAS AND WITH A MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS, CONSTRUCT TEMPORARY BARRIER BETWEEN OCCUPIED AREA AND CONSTRUCTION AREA IN ROOM 116.

DISCONNECT, REMOVE, CAP AND IDENTIFY UTILITIES WITHIN DEMOLITION AREA. UNDERTAKE DEMOLITIONS OF COMPONENTS AS INDICATED AND IN AN ORDERLY AND CAREFUL MANNER. PROVIDE ALL TEMPORARY SHORING AND SUPPORT. CEASE OPERATIONS IMMEDIATELY IF STRUCTURE OR ADJACENT STRUCTURES APPEAR TO BE IN DANGER AND NOTIFY DESIGN PROFESSIONAL. REMOVE FOUNDATIONS COMPLETELY, DO NOT LEAVE PORTIONS BELOW GRADE OR BELOW NEW CONSTRUCTION.

TAKE ACTIONS TO MINIMIZE DUST AND AIR-BORNE DEBRIS. REMOVE DEMOLISHED MATERIALS FROM SITE AS WORK PROGRESSES. MAINTAIN WORK AREA IN CLEAN CONDITION. DO NOT BURN OR BURY MATERIALS ON SITE.

DIVISION 3 - CONCRETE:

WHERE INDICATED REINFORCEMENT STEEL BARS SHALL BE ASTM A615/A615M GRADE 60 DEFORMED BILLET STEEL BARS. STEEL WELDED WIRE REINFORCEMENT SHALL BE ASTM 1185/A185M PLAIN TYPE, FLAT SHEET, SIZE AND GAUGE AS INDICATED ON DRAWINGS. WIRE TIES TO BE ANNEALED, MIN 16 GAUGE.

PROVIDE MINIMUM CONCRETE COVER FOR REINFORCEMENT. CAST AGAINST EARTH - 3 INCHES OR AS NOTED ON DRAWINGS. EXPOSED TO WEATHER - 2 INCHES OR AS NOTED ON DRAWINGS. NOT EXPOSED TO EARTH OR WEATHER PRIMARY REINFORCEMENT IN BEAMS AND COLUMNS - 1 1/2 INCHES OR AS NOTED ON DRAWINGS. NOT EXPOSED TO EARTH OR WEATHER SECONDARY REINFORCEMENT IN SLABS AND WALLS - 3/4 INCH OR AS NOTED ON DRAWINGS.

PLACE CONCRETE STRUCTURAL MEMBERS IN THEIR FULL DEPTH IN ONE OPERATION.

REPRESENTATIVE CONCRETE TEST CYLINDERS SHALL BE TAKEN EACH DAY OF CONCRETE OPERATIONS. ANY WORK FOUND TO NOT MEET SPECIFICATIONS SHALL BE REMOVED AND REPLACED.

POUR FOOTINGS IN CONTINUOUS POUR ON UNDISTURBED SOIL. DO NOT PLACE CONCRETE ON FROZEN GROUND OR IN FREEZING CONDITIONS.

DIVISION 4 - MASONRY:

MORTAR AND GROUT FOR EXTERIOR WALLS SHALL BE TYPE 'N', AND MATCH EXISTING.

BRICK SHALL BE ASTM C 62, GRADE SW, TYPE FBS, RATED "NOT EFFLORESCED". MATCH EXISTING AND SHALL INCLUDE 2 ADDITIONAL TYPES OF BRICK AS SELECTED BY THE ARCHITECT. - ALSO REFER TO ADDENDUM #2.

BRICK TIES SHALL BE TWO-PIECE ADJUSTABLE, HOT DIPPED GALVANIZED STEEL WIRE ROD TYPE. AS MANUFACTURED BY WIRE-BOND OR EQUAL IN CAVITY WALL CONSTRUCTION. SPACE TIES 16" O.C. VERTICALLY AND 16" O.C. HORIZONTALLY. TIES SHALL EXTEND MAX 2 1/2" INTO BRICK AND NO LESS THAN 1 1/2".

FLASHING SHALL BE EQUAL TO 'PERMA-BARRIER WALL FLASHING'.

AT ROWLOCKS AND CAPS PROVIDE MECHANICALLY-KEYED, 28 GAUGE STAINLESS STEEL MECHANICALLY-KEYED FLASHING WITH RIBS FORMED AT 3" INTERVALS IN A SAW-TOOTH PATTERN TO PROVIDE A POSITIVE BOND IN ALL DIRECTIONS TO MORTAR AND ALLOW FOR THE DRAINAGE. PROVIDE FLASHING MANUFACTURER'S STANDARD ACCESSORY PRODUCTS OR PRODUCTS RECOMMENDED BY FLASHING MANUFACTURER FOR BONDING FLASHING SHEETS TO EACH OTHER AND TO SUBSTRATES.

COURSING SHALL BE RUNNING BOND WITH CONCAVE MORTAR JOINTS TO MATCH EXISTING, EXCEPT WHERE NOTED OR SHOWN OTHERWISE.

CLEAN MASONRY TO REMOVE EXCESS MORTAR AND DROPPINGS. USE SURE KLEAN 600 BY PROSOCO OR EQUAL.

MASONRY WEEPS AND VENTS: ONE PIECE POLYPROPYLENE EQUAL TO CELLVENT BY HECKMANN, LOCATE 24" O.C.

DIVISION 6 - WOOD:

WOOD FRAMING FOR FLOOR AND ROOF FRAMING, JOISTS, BEAMS, AND HEADERS SHALL BE SOUTHERN PINE (SP) NO. 1 OR BETTER (SPIB) AS FOLLOWS:

BENDING FB = 1,250 PSI SHEAR FV = 175 PSI MOD ELAS E = 1,600,000 PSI

NOTED OTHERWISE.

WOOD IN CONTACT WITH MASONRY, CONCRETE, WEATHER OR GRADE SHALL BE PRESSURE TREATED.

WOOD CONSTRUCTION PANELS FOR ROOFS SHALL BE EXTERIOR EXPOSURE CLASS, SPAN RATING 24/0, 1/2 INCH THICK TO MATCH EXISTING. PANELS FOR WALLS SHALL BE EXTERIOR EXPOSURE CLASS. SPAN RATING 32/16. 1/2 INCH TO MATCH EXISTING.

PROVIDE ONE LINE OF BRIDGING FOR EACH EIGHT FEET FOR ROOF RAFTERS. BRIDGING TO BE 1" X 3" WOOD, METAL EQUIVALENT. OR SOLID BLOCKING.

INTERIOR WOOD TRIM SHALL MATCH EXISTING UNLESS SIZE AND PROFILE IS INDICATED ON DRAWINGS. SPECIES SHALL BE 'CLEAR' UNLESS

FASTENERS SHALL BE GALVANIZED STEEL, SIZE AND TYPE TO SUIT CONDITION. PROVIDE STAINLESS STEEL OR ZINC FASTENERS WHERE APPROPRIATE FOR NON-STAINING CHARACTERISTICS. FASTENERS SHALL BE PROVIDED IN ACCORDANCE WITH APPLICABLE STANDARDS, CODES, AND FEDERAL STANDARDS. PROVIDE HOLD-DOWN CLIPS FOR WOOD ROOF SHEATHING.

TOTAL TIPLE DOWN OF SULL STOR MOOD BOOK SULL STORM MOOD SULL STORM SOLID SURFACE COUNTERTOPS TO INCLUDE PLYWOOD SUBSTRATE COVERED WITH 1/2 INCH SOLID SURFACE, CONVENTIONALLY FABRICATED. SOLID SURFACE TO BE EQUAL TO CORIAN. COLOR AS SELECTED BY ARCHITECT - SEE ALTERNATE #3. BRACKETS TO BE EQUAL TO HYB (1.5)18-18"X18" HYBRID BRACKETS BY A AND M HARDWARE INC OR EQUAL. MINIMUM 525# POUNDS PER PAIR.) - ALSO REFER TO ADDENDUM #2. 🧻

minimum 3

DIVISION 7 - THERMAL AND MOISTURE PROTECTION:

RIGID INSULATION SHALL BE PROVIDED IN WALL CAVITIES AS INDICATED ON DRAWINGS. RIGID INSULATION SHALL BE EXTRUDED POLYSTYRENE EQUAL TO R 5/INCH.

FIBERGLASS BATT INSULATION SHALL BE PROVIDED AS INDICATED ON DRAWINGS. INSULATION SHALL BE CLASS A, EQUAL, WITH KRAFT FACING FOR TYPES III,IV,AND V CONSTRUCTION. R VALUE AS INDICATED ON DRAWINGS. PRODUCTS SUCH CLOSED SPRAY FOAM ARE

PROVIDE AIR BARRIER EQUAL TO 'TYVEK COMMERCIAL WRAP' ON EXTERIOR FACE OF WALL SHEATHING. OVERLAP MINIMUM 12 INCHES AND ANCHOR IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

SHINGLE ROOFING SHALL, MATCH EXSITING, PROVIDE SELF ADHERING ICE AND WATER UNDERLAYMENT FROM ROOF EDGE TO 2'-0" PAST OUTSIDE EDGE OF EXTERIOR WALL. UNDERLAYMENT TO BE "ICE AND WATER SHIELD" BY GRACE OR EQUAL.

SHEET METAL FLASHING AND TRIM SHALL BE PREFINISHED ALUMINUM OR PREFINISHED GALVANIZED STEEL AS INDICATED ON THE DRAWINGS. STEEL FASCIAS GAUGE AS FOLLOWS: UP TO 6 INCH HIGH - 25 GAUGE

UP TO 8 INCH HIGH - 24 GAUGE

UP TO 10 INCH HIGH - 22 GAUGE. ALUMINUM FASCIAS AS FOLLOWS: UP TO 6 INCHES HIGH - .040 INCH THICK.

PREFINISHED ALUMINUM SOFFIT SHALL MATCH EXISTING PROVIDE WITH ACCESSORIES FOR COMPLETE INSTALLATION, MINIMUM 10 SQ INCHES PER LINEAR FOOT NET FREE AREA.

FIRE STOPPING SHALL BE SEALANT TYPE, FOAM, PUTTY, OR WRAP AS APPROPRIATE FOR APPLICATION. PRODUCTS AS MANUFACTURED BY 3M FIRE PROTECTION PRODUCTS OR EQUAL.

DIVISION 8: DOORS AND WINDOWS:

EXTERIOR DOORS - STEEL DOORS SHALL BE 18 GAUGE, SOLID FOAM CORE FOR EXTERIOR APPLICATIONS, HONEYCOMB CORE FOR INTERIOR APPLICATIONS,, FLUSH FACE, SEAMLESS EDGE, GALVANIZED AS MANUFACTURED BY CECO, REPUBLIC, STEEL CRAFT OR EQUAL. STEEL FRAMES SHALL BE SHOP WELDED 16 GAUGE 2 INCH FACE 5 3/4 INCH DEEP SAME FINISH AND MANUFACTURER AS DOORS. DOOR AND FRAME SHALL BE FIRE RATED WHERE INDICATED OR REQUIRED

INTERIOR DOORS - WOOD DOORS SHALL BE SOLID CORE, FLUSH FACE, HARDWOOD FACE VENEER, 1 3/4 INCH THICK DOOR, FACTORY FINISHED UNLESS NOTED OTHERWISE, AS MANUFACTURED BY ALGOMA, GRAHAM, EGGERS/VT, MOHAWK, OSHKOSH OR EQUAL. DOORS TO BE FIRE RATED WHERE INDICATED OR REQUIRED. SPECIES TO MATCH EXISTING SPECIES AND GRAIN. PROVIDE SHOP WELDED, 16 GA STEEL DOOR FRAMES, UNLESS NOTED OTHERWISE - ALSO REFER TO ADDENDUM #2.

NTERIOR AND EXTERIOR ALUMINUM DOORS - ALUMINUM DOORS SHALL BE EQUAL TO 350 NON-THERMAL BY KAWNEER.

HARDWARE SHALL BE AS SPECIFIED IN PROJECT MANUAL. PROVIDE COMPLETE SYSTEM.

EXTERIOR WINDOWS SHALL BE FIXED CLAD WOOD WINDOWS TO MATCH EXISTING CASEMENT WINDOWS, CONFIGURATION INDICATED ON DRAWINGS. PRODUCT SHALL BE WOOD-ULTREX BY MARVIN OR EQUAL. PROVIDE LOW-E GLASS, ARGON FILLED, DOUBLE PANE, TINTED GLASS TO MATCH EXISTING. PROVIDE SAFETY GLASS AS REQUIRED BY CODE. EXTERIOR COLOR TO MATCH EXISTING AND AS SELECTED BY ARCHITECT. INTERIOR SHALL BE BARE PINE FOR SITE FINISHING.

GLAZING FOR SIDELIGHTS/VISION PANELS SHALL BE 1/4" CLEAR FLOAT GLASS. PROVIDE SAFETY GLASS IN HAZARDOUS LOCATIONS REQUIRED BY CODE

INTERIOR WINDOWS SHALL BE HOLLOW METAL 18 GAUGE CONSTRUCTION, WELDED.

ACCESS DOORS AND FRAMES - PROVIDE FLUSH ACCESS DOORS AND FRAMES, UNCOATED SHEET 16 GAUGE STEEL, FACTORY PRIMED, FIELD PAINTED, FIRE RATED WHERE FIRE RATED ASSEMBLY IS PRESENT. PROVIDE IN LOCATIONS WHERE NEEDED TO ACCESS EQUIPMENT IN

DIVISION 9 - FINISHES:

GYPSUM BOARD SHALL BE 1/2 INCH THICK TO MATCH EXISTING AND 5/8 INCH THICK WHERE INDICATED, LEVEL 4 FINISH FOR PAINT UNLESS NOTED OTHERWISE. PROVIDE TYPE 'X' WHERE FIRE RATING REQUIRED. PROVIDE ABUSE RESISTANT AT ALL NEW INSTALLATIONS WITHIN 4' - 0" OF THE FLOOR AND FOR ALL MATERIAL FOR ELECTIONS #114.

PROVIDE CORNER BEAD CORNER REINFORCEMENTS TO PROTECT OUTSIDE ANGLE CORNERS. UNCASED OPENINGS. WINDOW AND DOOR RETURNS, PILASTERS, BEAMS, SOFFITS, AND ANY EXPOSED EDGE OF THE GYPSUM WORK. ALL EDGES ARE TO BE PLUMB, LEVEL, OR FLUSH WITH ADJACENT WORK OR IF PART OF AN INDEPENDENT DESIGN ELEMENT. CORNER BEAD TO BE INSTALLED IN ONE PIECE UNLESS THE LENGTH OF CORNER EXCEEDS STOCK BEAD LENGTHS. INSTALL AS NOTED FOR EACH PRODUCT. PRIMER PAINT ALL GYPSUM BOARD PRIOR TO

PROVIDE NEW BASE PER SCHEDULE: PROVIDE 4" RUBBER WALL BASE, COVE WITH TOE, BY ROPPE OR EQUAL UNLESS OTHERWISE NOTED. COLOR SELECTED BY OWNER OR ARCHITECT. PROVIDE PREFABRICATED OUTSIDE CORNERS. FORMED OR CUT OUTSIDE CORNERS WILL NOT

CARPET:

MOHAWK LIVING PRODUCT CHALLENGE 2.0, SHAPE & FLOW, FLUX FOUNDATION, BT585, SOLUTION DYED TUFTED, 24" X 24", COLOR 9240 UTFALL OR SHAW CONTRACT MEDITATE, 57671, SOLUTION DIED TUFFED, 24"x24", COLOR OAT 62518 OR PRE-APPROVED EQUAL.

COMPOSITE SHEET FLOORING:

FURBO, MARMOLEUM FRESCO COLOR 3883 MOONSTONE OR SHAW CONTRACT, INNATE LINEN SHEET, 43LLV, COLOR LOAM 66504 OR PRE-APPROVED EQUAL

PAINT SHALL BE EQUAL TO SHERWIN WILLIAMS COMMERCIAL GRADE LOW VOC PAINTS UNLESS NOTED OTHERWISE.

INTERIOR:

EXISTING PAINTED WALLS SHALL BE (2) FINISH COATS.

NEW GYPSUM BOARD SHALL HAVE (3) COATS. PRIMER WITH (2) FINISH COATS.

EXISTING STEEL SHALL BE (2) FINISH COATS.

NEW STEEL SHALL HAVE (3) COATS. (1) COAT OF RUST PROHIBITIVE PRIMER WITH (2) FINISH COATS.

INTERIOR CEILINGS: ACRYLIC LATEX, MATCH EXISTING SHEEN OR FLAT. INTERIOR WALLS: ACRYLIC LATEX, MATCH EXISTING SHEEN OR EGGSHELL. INTERIOR TRIM: ACRYLIC LATEX, MATCH EXISTING SHEEN SEMI-GLOSS OR GLOSS. INTERIOR METAL: ACRYLIC LATEX ENAMEL, MATCH EXISTING SHEEN OR GLOSS.

EXTERIOR:

EXTERIOR WOOD: ACRYLIC COATING EQUAL TO 'DURATION'.

EXISTING PAINTED WOOD SHALL BE (2) FINISH COATS. NEW PAINTED WOOD SHALL HAVE (3) COATS. (1) COAT OF PRIMER WITH (2) FINISH COATS.

EXTERIOR STEEL: ACRYLIC LATEX ENAMEL EQUAL TO 'SHER-CRYL'.

EXISTING STEEL: PREP & (2) FINISH COATS. IF RUST PRESENT PREP & PRECEDE FINISH COATS WITH (1) COAT RUST INHIBITIVE PRIMER. NEW EXTERIOR STEEL: PREP AND PROVIDE (3) COATS. (1) COAT RUST INHIBITIVE PRIMER AND (2) FINISH COATS.

EXTERIOR WOOD: ACRYLIC LAYTEX, FLAT OR MATCH EXISTING SHEEN. EXTERIOR METAL: ACRYLIC LATEX ENAMEL, GLOSS OR MATCH EXISTING SHEEN.

PROVIDE CONSISTENT PAINT FINISH AND THICKNESS ON ALL SURFACES. NO THINS, BRUSH MARKS, ROLLER MARKS, ORANGE-PEEL, OR OTHER APPLICATION IMPERFECTIONS ARE CONSIDERED ACCEPTABLE. REMOVE SURFACE DEFECTS AND IMPERFECTIONS FROM SUBSTRATE TO BE PAINTED. TOUCH-UP SURFACE IMPERFECTIONS WITH COATING MATERIAL, FEATHERING, AND SANDING IF REQUIRED; TOUCH-UP AREAS TO ACHIEVE FLAT, UNIFORM SURFACE WITHOUT SURFACE DEFECTS VISIBLE FROM 5 FEET. WHERE PAINT APPLICATION ABUTS OTHER MATERIALS OR OTHER COATING COLOR, TERMINATE COATING WITH A CLEAN SHARP TERMINATION LINE WITHOUT COATING OVERLAP. RE-PREPARE AND RE-COAT

UNSATISFACTORY FINISHES; REFINISH ENTIRE AREA TO CORNERS OR OTHER NATURAL TERMINATIONS. CLEAN ALL FINAL

STAINED SITE FINISHED COMPONENTS AND POLYURATHANE FINSHES SHALL BE EQUAL TO SHERWIN WILLIAMS WOODCLASSICS 250 VOC STAIN & WOODCLASSICS WATERBASED POLYURETHANE SATIN INCLUDING DOOR, WINDOWS AND WINDOW TRIM.

PROVIDE IDENTIFICATION OF ALL RATED WALLS WITH SIGNAGE OR STENCILING ABOVE THE CEILING PER CODE (2015 MBC 703.7 - MARKING AND IDENTIFICATION).

PROVIDE JOINT FILLERS AND SEALANTS APPROPRIATE FOR USE AND LOCATION, AS MANUFACTURED BY BASF, PECORA OR EQUAL. SEAL TO BE PROVIDED AT DISSIMILAR MATERIALS

SOUND ISOLATION MATERIALS: PROVIDE MASS LOADED VINYL (MLV) SOUNDPROOFING BARRIER EQUAL TO AUDIOSEAL BY ACOUSTICAL

DIVISION 10 - SPECIALTIES:

SURFACES FOR FILM-FREE FINISH

PROVIDE SIGNAGE WITH TEXT AND BRAILLE COMPLYING WITH ADA. PRODUCTS AS MANUFACTURED BY ASI, APCO OR EQUAL. PROVIDE SIGNS AS INDICATED AT ROOMS AND EXITS. PROVIDE IDENTIFICATION OF ALL RATED WALLS WITH SIGNAGE OR STENCILING ABOVE THE CEILING PER CODE (2015 MBC703.7 MARKING AND IDENTIFICATION). - ALSO REFER TO ADDENDUM #2.

DIVISION 13 - SPECIAL CONSTRUCTION:

PROVIDE BULLET RESISTANT PRODUCTS INCLUDING LAMINATED POLYCARBONATE SHEETS EQUAL TO TSS POLYCARBONATE LP 1250, FIBERGLASS SHEETS EQUAL TO TSS TOTAL ARMOR TA-3 AND BALLISTIC RATED FRAME SYSTEM EQUAL TO BL 2.5 BY TOTAL SECURITY SOLUTIONS. (800)513-1468, TROSS@TSSBULLETPROOF.COM. PRODUCTS TO BE SECURITY LEVEL 3. RE:ALTERNATE #2

DIVISION 31 - SITE:

EXCAVATE AS REQUIRED FOR NEW STOOP. FOOTING SHALL BEAR THE UNDISTURBED SOIL. FOOTINGS SHALL BE LEVEL AND FREE OF LOOSE

BACK FILL MATERIALS SHOULD BE OF TYPE APPROPRIATE FOR USE AND LOCATION. COMPACT MATERIALS IN LIFTS NOT MORE THAN 12 INCHES TO A MINIMUM OF 95% PROCTOR.

PORTLAND CEMENT CONCRETE PAVING (APPLICABLE ONLY FOR CONSTRUCTION DAMAGE TO WALKS). SHALL BE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. AIR CONTENT SHALL BE 5 - 8%, SLUMP SHALL NOT EXCEED 3 INCHES.

PROVIDE MINIMUM 2 INCHES OF TOPSOIL FOR ALL DISTURBED AREAS. PROVIDE SOD OR HYDROSEED CONSISTING OF A MIXTURE OF ANNUAL AND PERENNIAL SEED. CONTRACTOR SHALL WATER THE TURF AREA UNTIL TURF IS ESTABLISHED BUT NOT LESS THAN 30 DAYS.

RESTORE AND REPAIR ANY TURF OR PAVED AREAS DAMAGED DURING CONSTRUCTION. PROTECT ALL AREAS ADJACENT TO CONSTRUCTION.



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10.	DESCRIPTION	DATE
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	ADDENDUM #2	8/26/2025
:	FOR BIDS	8/7/2025
	FOR OWNERS REVIEW	7/29/2025

FLUSHING TOWNSHIP HALL

IMPROVEMENTS FOR TOWNSHIP HALL

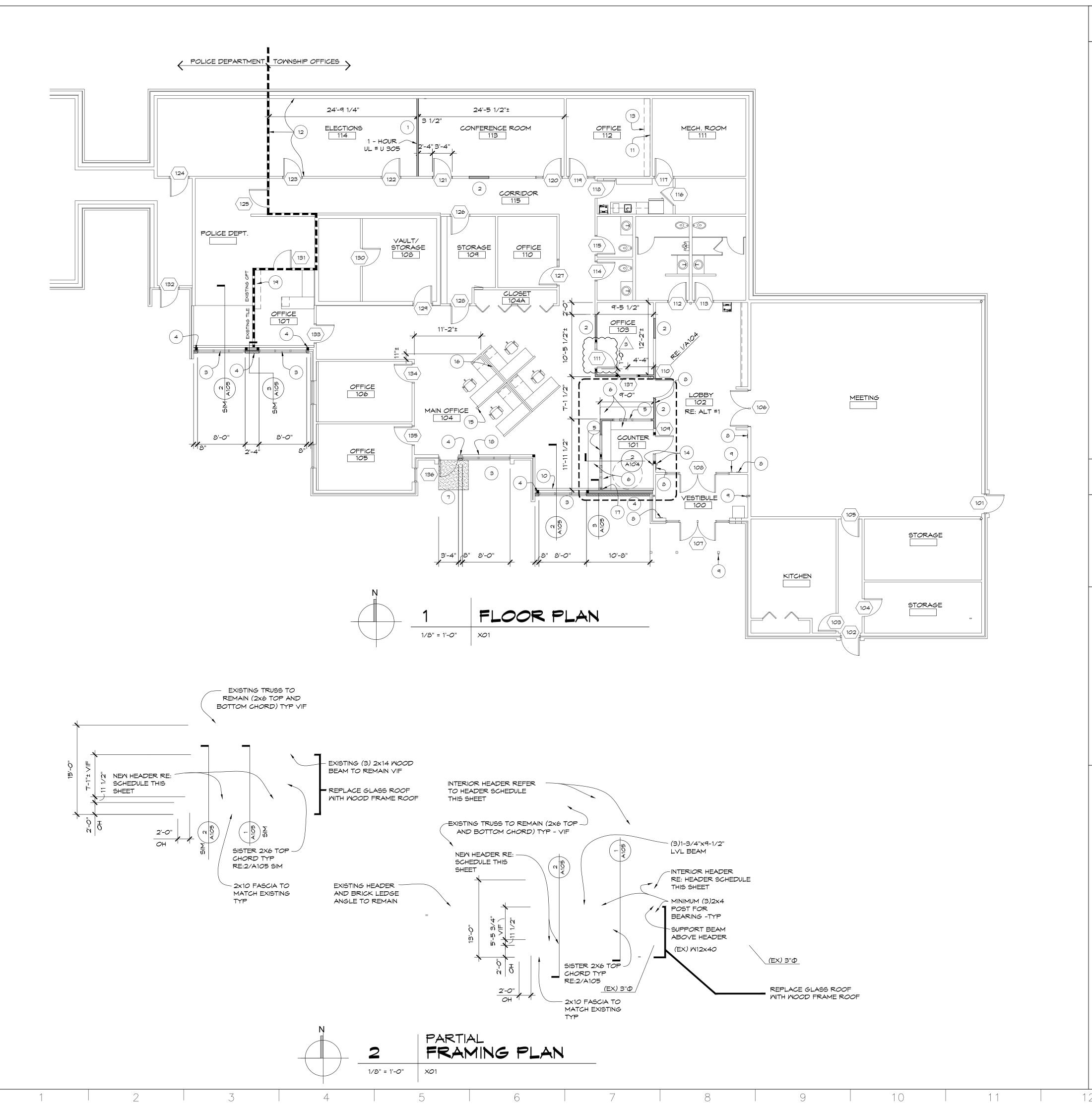
6524 N. SEYMOUR RD FLUSHING, MI 48433

DRAWING TITLE

SPECIFICATIONS

PROJECT NO.	
	22-250
DATE	
	AUGUST 1, 2025
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○ CONSTRUCTION NOTES

- 1. 3 1/2" WOOD STUD FRAMING AT 16" ON CENTER WITH 5/8" GYPSUM BOARD EACH SIDE TO EXISTING DECK(1 HOUR WALL CONSTRUCTION UL# U.305 WHERE INDICATED)
- 2. NEW 2x4 WOOD STUD WALL 16" ON CENTER AND 1/2" GYPSUM BOARD TO MATCH EXISTING.
- 3. NEW WINDOW ASSEMBLY & WOOD TRIM.
- 4. INFILL EXTERIOR WALL WITH 2X FRAMING 16" ON CENTER WITH 1/2" GYPSUM BOARD INTERIOR FINISH AND BRICK VENEER ON EXTERIOR SIMILAR TO EXISTING RE:3/A105 FOR BRICK COLORS RE: A103
- 5. NEW BALLISTIC WALL ASSEMBLY WITH BULLET RESISTANT GLAZING AND BULLET RESISTANT HOLLOW METAL FRAMING, AND BULLET RESISTIVE WALL CONSTRUCTION RE: ALTERNATE #2, RE: 1/A104
- 6. COUNTER AND SUPPORT BRACKETS: RE 1 & 2/A104, AND RE: ALTERNATE #3
- 7. CONCRETE STOOP RE:4/A105
- 8. ROOM SIGN.
- 9. EXISTING BARRIER FREE ASSIST BUTTON TO REMAIN.
- 10. EXISTING FIN-TUBE RADIATOR TO BE MODIFIED: RE MECH.
- 11. PROVIDE SOUND PROOFING BARRIER OVER EXISTING WALL AND LAYER OF 5/8" GYPSUM BOARD.
- 12. ADD 1 LAYER 5/8" TYPE X GYPSUM BOARD TO EXISTING MALLS
- 13. RE-INSTALL SALVAGED SHELFING
- 14. PROVIDE BARRIER FREE ASSIST BUTTON EACH SIDE OF OPENING - RE: ALTERNATE #5
- 15. RELOCATED POWER POLE RE: ELECTRICAL
- 16. OFFICE FURNITURE RELOCATED BY OTHERS
- 17. CONSTRUCT WALL AROUND EXISTING FINTUBE RADIATION. MAINTAIN CLEARANCES TO ANY ELEMENTS. MEW FINTUBE COVER UNDER MECHANICAL CONTRACTOR RE: MECH
- 18. PATCH AND REPAIR WALL AT MECHANICAL REMOVAL
- 19. MODIFY SALVAGED MOOD SHELVING AND RE-INSTALL

HEADER SCHEDULE

EXTERIOR OPENING

UP TO 8'-0"

(3) 2x10 HEADER SUPPORTED ON (2) JACK STUDS WITH (1) KING STUD EACH END PLUS 6x6x5/16" LLV STL ANGLE, BEAR 8" MIN EACH END. VERIFY HORIZONTAL LEG IN FIELD

INTERIOR OPENINGS

(2) 2x10 WITH 1/2" SPACER SUPPORTED ON (2) JACK STUDS WITH (1) KING STUD EACH END



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ALL DIMENSIONS ARE TO FACE OF STUD OR MASONRY OR

CENTERLINE OF STEEL UNLESS NOTED OTHERWISE

GENERAL NOTES

- 2. PREPARE FOR NEW WORK BY REMOVING EXISTING SURFACE FINISHES, AS NECESSARY TO PROVIDE FOR PROPER INSTALLATION OF NEW MORK AND NEW FINISHES.
- 3. FIT WORK TIGHT TO ADJACENT ELEMENTS. MAINTAIN INTEGRITY OF WALL, CEILING, OR FLOOR CONSTRUCTION, COMPLETELY SEAL VOIDS.
- 4. WHERE REMOVAL OF AN ELEMENT RESULTS IN ADJACENT SPACES BECOMING ONE, REWORK FLOORS, WALLS AND CEILINGS TO CREATE A SMOOTH PLANE WITHOUT BREAKS, STEPS OR BULKHEADS.
- 5. WHERE NEW WORK ABUTS OR ALIGNS WITH EXISTING, MAKE A SMOOTH AND EVEN TRANSITION. PATCH WORK SHALL MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPEARANCE. WHERE FINISH SURFACES ARE CUT SO THAT A SMOOTH TRANSITION WITH NEW WORK IS NOT POSSIBLE, TERMINATE EXISTING SURFACE ALONG A STRAIGHT LINE AT NATURAL LINE OF DIVISION.
- 6. COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL COMPONENTS TO INTERFACE WITH WALLS, FLOORS, CEILINGS, OR ROOFS.

NO.	DESCRIPTION	DATE
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m	ADDENDUM #2	8/26/2025
2	FOR BIDS	8/7/2025
1	FOR OWNERS REVIEW	7/29/2025

FLUSHING TOWNSHIP HALL

IMPROVEMENTS FOR TOWNSHIP HALL

6524 N. SEYMOUR RD

FLUSHING, MI 48433

DRAWING TITLE

FLOOR PLAN, PARTIAL FRAMING PLAN AND DETAILS

PROJECT NO.	
	22-25 <i>0</i>
DATE	
	AUGUST 1, 2025
DRAWN	
	CRE, AJM
CHECKED	ISH

A102

CAD FILE NO. A102

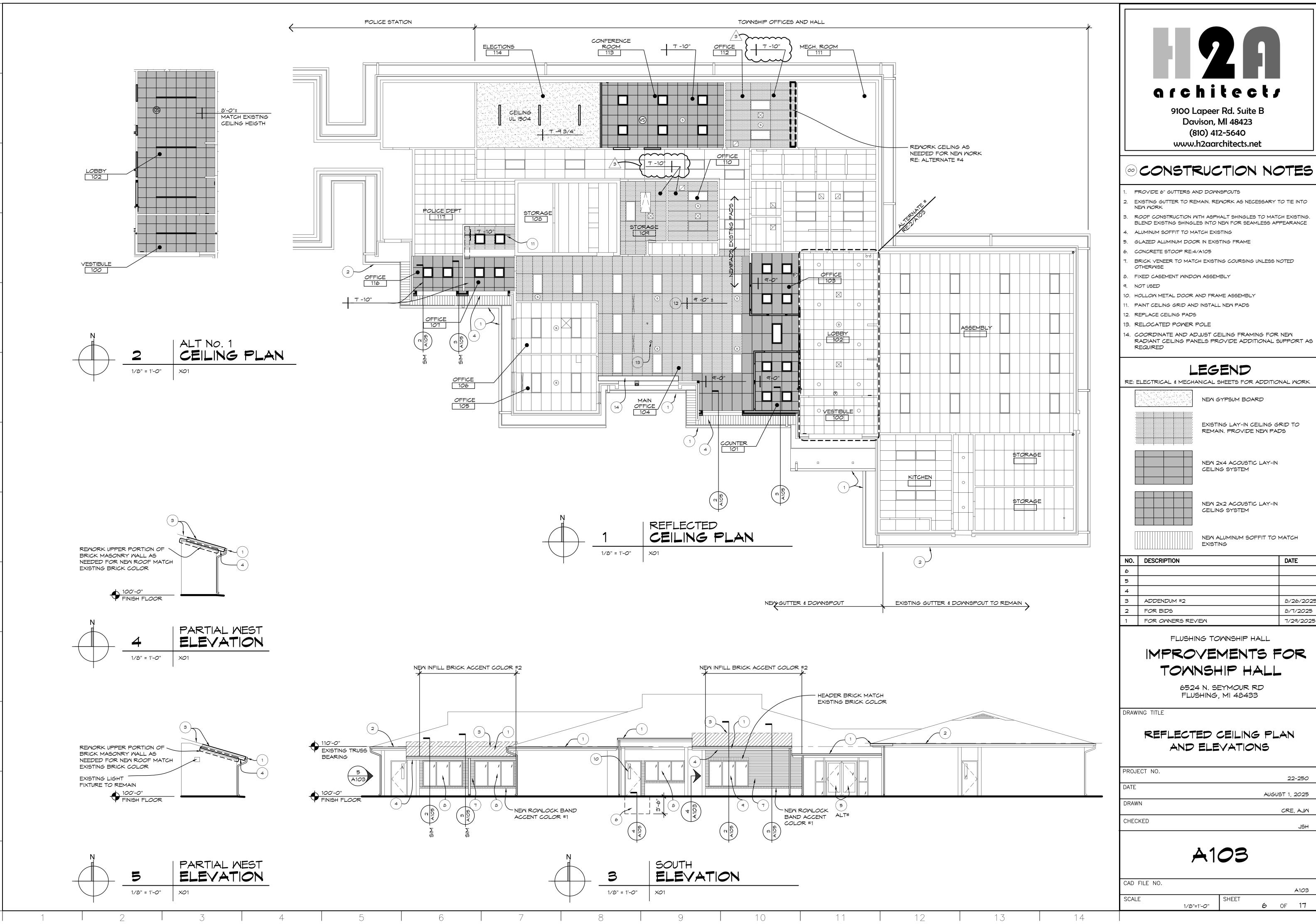
FRONT APPROACH FRONT APPROACH - PUSH SIDE - PULL SIDE * IF BOTH CLOSER AND LATCH TYPICAL DOOR

OF DOORWAY

CLEAR SPACE

1/4" = 1'-0"

5 OF **17** 1/8"=1'-0"



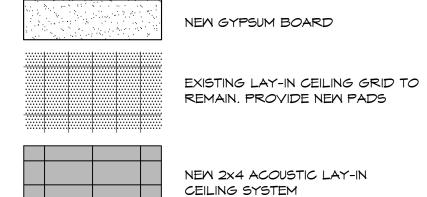
architects

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- PROVIDE 6" GUTTERS AND DOWNSPOUTS
- 2. EXISTING GUTTER TO REMAIN. REMORK AS NECESSARY TO TIE INTO
- 3. ROOF CONSTRUCTION WITH ASPHALT SHINGLES TO MATCH EXISTING.
- BLEND EXISTING SHINGLES INTO NEW FOR SEAMLESS APPEARANCE
- ALUMINUM SOFFIT TO MATCH EXISTING
- 6. CONCRETE STOOP RE:4/A105
- BRICK VENEER TO MATCH EXISTING COURSING UNLESS NOTED
- 8. FIXED CASEMENT WINDOW ASSEMBLY
- 10. HOLLOW METAL DOOR AND FRAME ASSEMBLY
- 11. PAINT CEILING GRID AND INSTALL NEW PADS
- 12. REPLACE CEILING PADS
- 13. RELOCATED POWER POLE
- 14. COORDINATE AND ADJUST CEILING FRAMING FOR NEW RADIANT CEILING PANELS PROVIDE ADDITIONAL SUPPORT AS

LEGEND

RE: ELECTRICAL & MECHANICAL SHEETS FOR ADDITIONAL WORK







NO.	DESCRIPTION	DATE
6		
ы		
4		
3	ADDENDUM #2	8/26/2025
2	FOR BIDS	8/7/2025
1	FOR OWNERS REVIEW	7/29/2025

FLUSHING TOWNSHIP HALL

IMPROVEMENTS FOR TOWNSHIP HALL

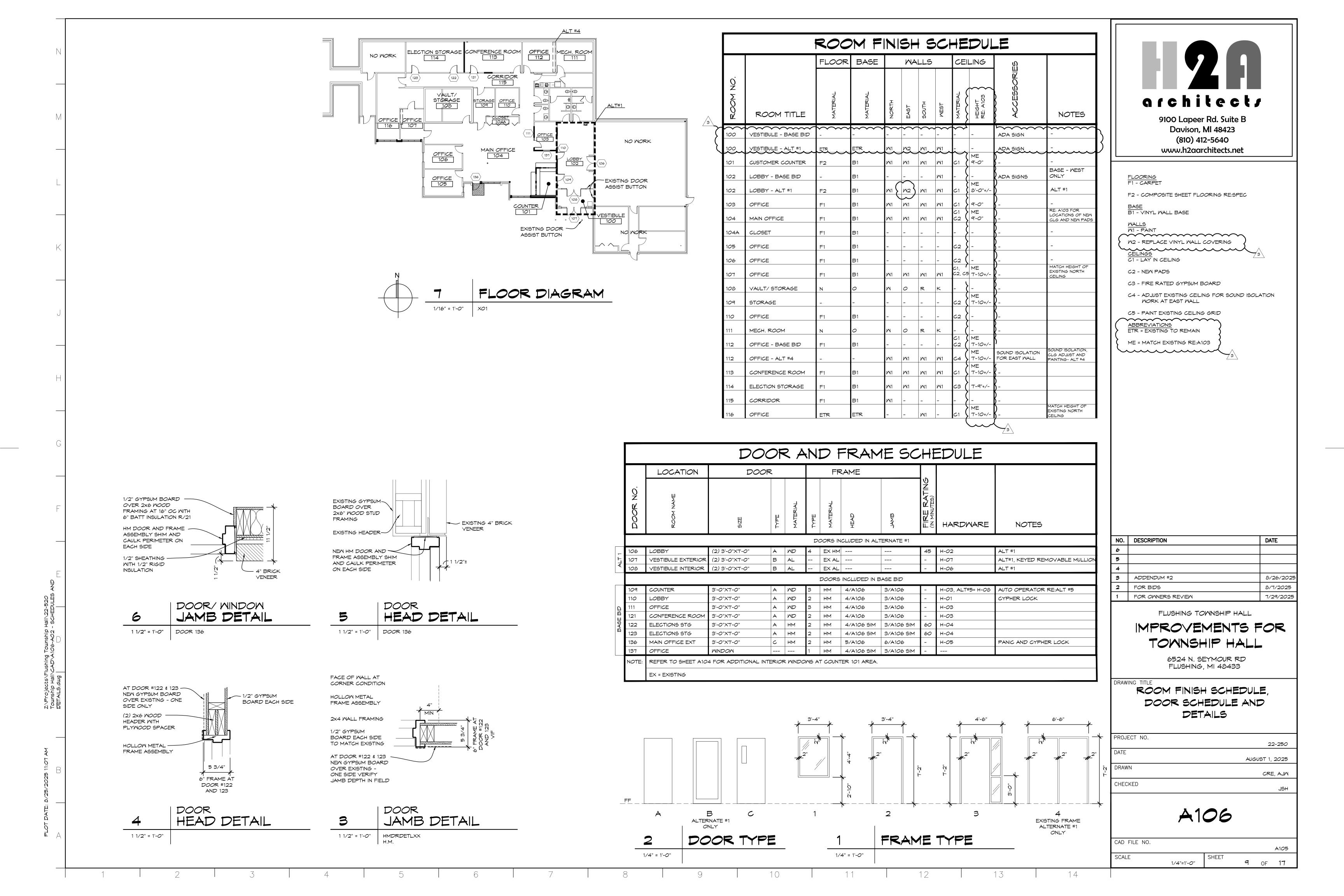
6524 N. SEYMOUR RD FLUSHING, MI 48433

REFLECTED CEILING PLAN AND ELEVATIONS

PROJECT NO.	
	22-250
DATE	
	AUGUST 1, 2025
DRAWN	
	CRE, AJM
CHECKED	
	JSH

A103

D FILE NO.						
					A103	
CALE		SHEET				
	1/8"=1'-0"		6	OF	17	



SIGNAGE SCHEDULE - FLUSHING TOWNSHIP HALL

	Access			
Sign Type	Signature Series	Description	Qty	
ADA Room ID	TREATMENT ROOM AX313 6" x 6" Room ID Plaque	ADA Room Identification Sign: 6" x 6" ADA photopolymer Text: 'Customer Service' 'Staff Only' 'Meeting Room' – Alternate No. 1 Wall Mount	2+1	
		Concealed anchors		
ADA Room ID	JANITORIAL CLOSET AX304 4" x 8" Room ID Plaque	ADA Room Identification – Building Services 4" x 8" ADA photopolymer Text: 'EXIT'	2	
		Concealed anchors		

END OF SECTION