



ADDENDUM #2

Project: No. 22-520
Improvements for:
Flushing Township Hall
6424 N. Seymour Rd
Flushing, MI 48433

Architect: H2A Architects Inc.
9100 Lapeer Rd.
Suite B
Davison, MI 48423
810-412-5640

Issue Date: August 26, 2025

GENERAL NOTES

The following are changes, clarifications, and additions made in specification and working drawings prior to receipt of bids and shall be noted by the Contractor responsible for the same. All of these items shall be considered part of the Contract Documents.

The general character of the work required by this addendum shall be the same as originally specified, and all incidentals required in connection with the work hereinafter described shall be included even though not specifically mentioned.

The Contractor shall be held responsible to include and adjust the work of all trades involved as required to complete the work described hereinafter. All bidders shall review Addendum as it alters the work shown on the drawings and specifications.

ITEMS INCLUDE

- Item #1: Refer to Drawing Sheet A100 (attached)
Division #6 – Wood: Brackets shall have a minimum weight capacity of 525 #/pair.
- Item #2: Refer to Drawing Sheet A103 (attached)
Ceiling elevations are added to rooms as shown on drawing.
- Item #3: Refer to Drawing Sheet A104 (attached)
Added Detail 3/A104 ADA Counter Wall Section. Revised Interior Elevation, Partial Floor Plan and Wall Sections for clarity.
- Item #4 Refer to Drawing Sheet A106 (attached)
Revised Room Finish Schedule as shown on drawing.
- Item #5: Refer to Drawing Sheet 102 (attached)
Revised Door 111 in Office 103 as shown on drawing. Adjust hardware to coordinate at time of ordering.

- Item #6: Refer to Sheet G001 Title Sheet, South Elevation Rendering Detail 3, also A100 Specifications, Division 4 – Masonry, Sheets A103 Reflected Ceiling and Plan Elevations and A105 Wall Sections and Details, Brick.
The types of brick shall be as follows or equal:
Match Existing: Belden Modular Ash Ridge Blend Course Velour 78-219098
Color #1 Rowlock Sill Band: Belden 8520 Coarse Velour
Color #2 Brick Infill: Belden 24-13 Modular Dusty Gray
- Item #7: Refer to Sheet A100 Specifications, Division 6 - Wood, Counter tops.
Base Bid Formica shall be as follows or equal:
Formica Color: Silver Quartzite 9497-58 - or- Star Dune 9309-58.
Solid Surface Corian Color: Smoke Drift Prima. (Alternate #3)
- Item #8: Refer to Addendum #1 Item 3, and Sheet A100 Specifications, Division 8 - Doors and Windows.
Disregard Item 3 of Addendum #1. Matching doors with Masonite doors are no longer in production. Doors shall be as specified with wood veneer solid core doors. Veneer shall be Red or White Oak (field finished to match existing Walnut finish), select white face veneer. Plain sliced, random matched, to best match the existing Masonite doors. Algoma, Graham and Mohawk Doors have been consolidated into other companies and may no longer be available.
- Item #9: Refer to Sheet A100 Specifications, Division 10 – Specialties, Signage.
Provide ADA signs as specified.
Sign Schedule is attached.
ADA Room signs 6" x 6" provide 2 under Base Bid and 1 under Alternate # 1.
ADA Room Signs 4" x 8" provide 2 under Base Bid.
(This schedule is exclusive of fire rated wall signage.)

H2A Architects

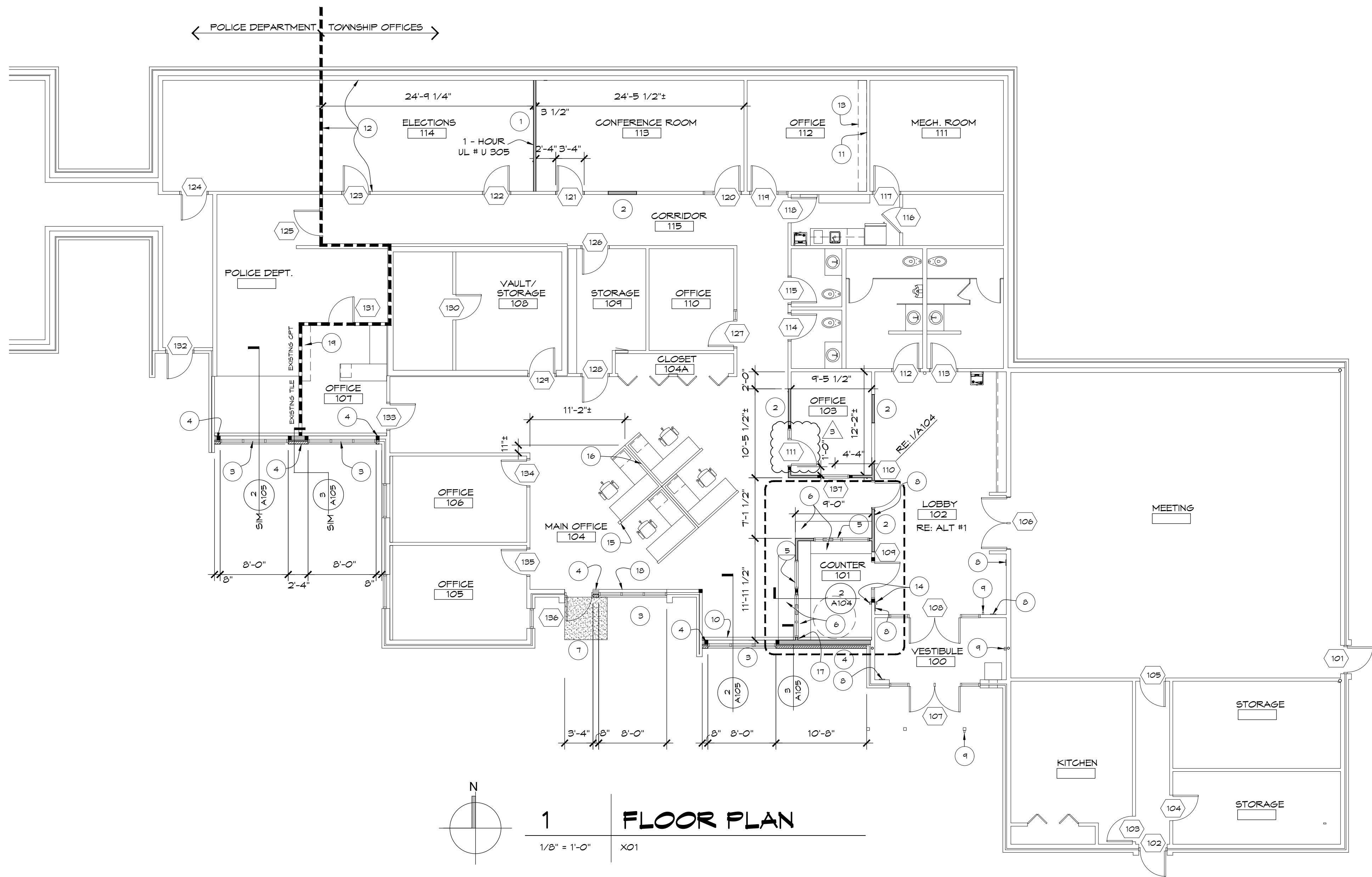


Jackie Hoist

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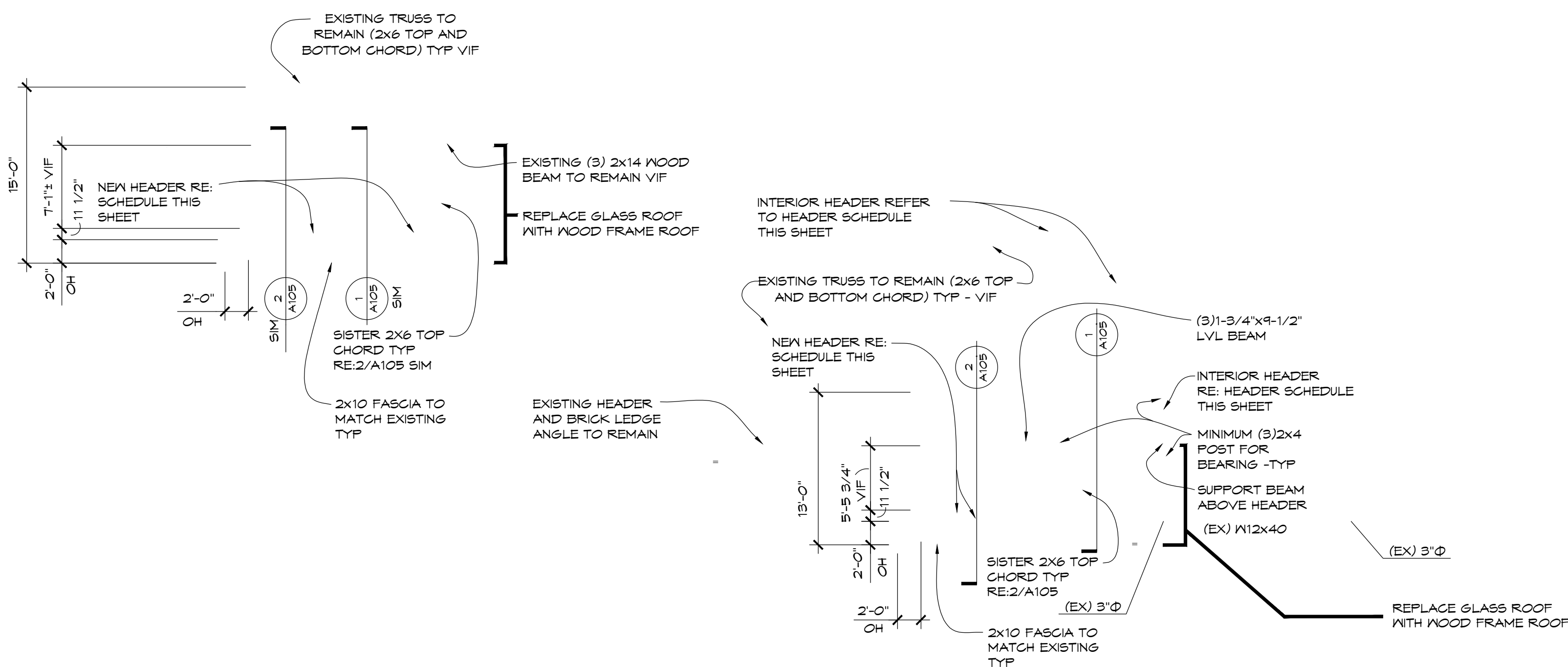
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Township Hall\CAD\A102-A02 - FLOOR PLAN.dwg

PLOT DATE: 8/28/2025 10:51 AM



1 FLOOR PLAN

1/8" = 1'-0" X01



2 PARTIAL FRAMING PLAN

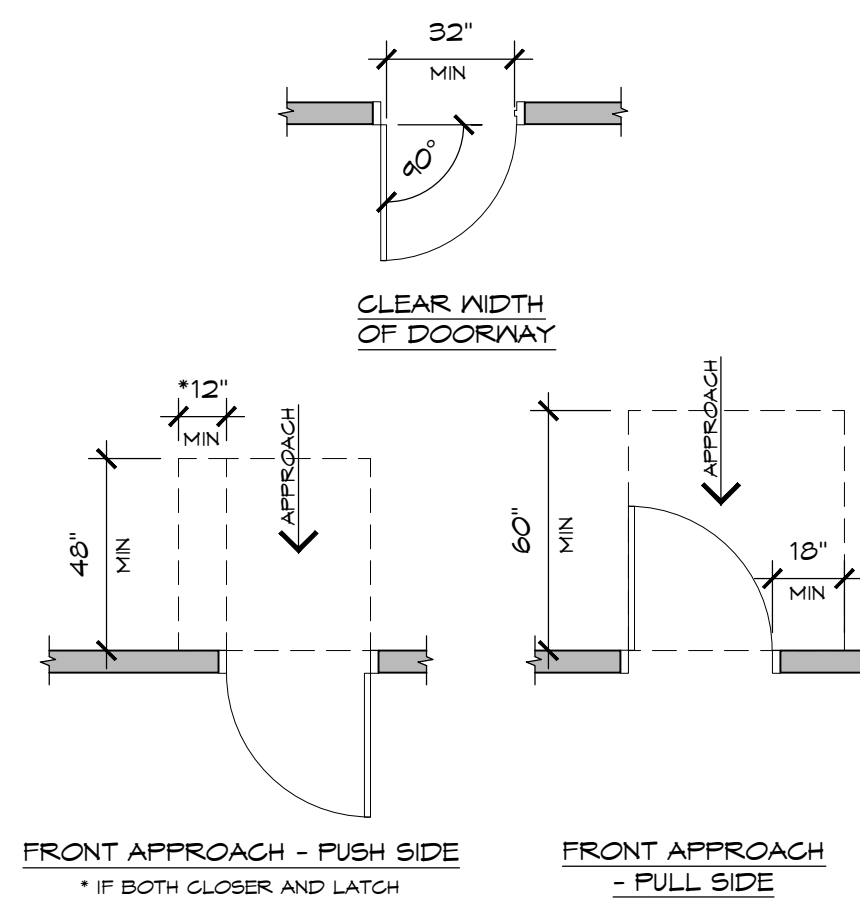
1/8" = 1'-0" X01

CONSTRUCTION NOTES

- 3 1/2" WOOD STUD FRAMING AT 16" ON CENTER WITH 5/8" GYPSUM BOARD EACH SIDE TO EXISTING DECK/ 1 HOUR WALL CONSTRUCTION UL# U-305 WHERE INDICATED)
- NEW 2x4 WOOD STUD WALL 16" ON CENTER AND 1/2" GYPSUM BOARD TO MATCH EXISTING.
- NEW WINDOW ASSEMBLY & WOOD TRIM.
- INFILL EXTERIOR WALL WITH 2X FRAMING 16" ON CENTER WITH 1/2" GYPSUM BOARD INTERIOR FINISH AND BRICK VENEER ON EXTERIOR SIMILAR TO EXISTING RE:3/A105 FOR BRICK COLORS RE: A103
- NEW BALLISTIC WALL ASSEMBLY WITH BULLET RESISTANT GLAZING AND BULLET RESISTANT HOLLOW METAL FRAMING, AND BULLET RESISTIVE WALL CONSTRUCTION RE: ALTERNATE #2, RE: 1/A104
- COUNTER AND SUPPORT BRACKETS : RE 1 & 2/A104, AND RE: ALTERNATE #3
- CONCRETE STOOP RE:4/A105
- ROOM SIGN.
- EXISTING BARRIER FREE ASSIST BUTTON TO REMAIN.
- EXISTING FIN-TUBE RADIATOR TO BE MODIFIED: RE MECH.
- PROVIDE SOUND PROOFING BARRIER OVER EXISTING WALL AND LAYER OF 5/8" GYPSUM BOARD.
- ADD 1 LAYER 5/8" TYPE X GYPSUM BOARD TO EXISTING WALLS
- RE-INSTALL SALVAGED SHELFING
- PROVIDE BARRIER FREE ASSIST BUTTON EACH SIDE OF OPENING - RE: ALTERNATE #5
- RELOCATED POWER POLE RE: ELECTRICAL
- OFFICE FURNITURE RELOCATED BY OTHERS
- CONSTRUCT WALL AROUND EXISTING FIN-TUBE RADIATION. MAINTAIN CLEARANCES TO ANY ELEMENTS. NEW FIN-TUBE COVER UNDER MECHANICAL CONTRACTOR RE: MECH
- PATCH AND REPAIR WALL AT MECHANICAL REMOVAL
- MODIFY SALVAGED WOOD SHELFING AND RE-INSTALL

HEADER SCHEDULE

- EXTERIOR OPENING
UP TO 8'-0"
- (3) 2x10 HEADER SUPPORTED ON (2) JACK STUDS WITH (1) KING STUD EACH END PLUS 6x6x5/16" LVL STL ANGLE, BEAR 5" MIN EACH END, VERIFY HORIZONTAL LEG IN FIELD
- INTERIOR OPENINGS
- (2) 2x10 WITH 1/2" SPACER SUPPORTED ON (2) JACK STUDS WITH (1) KING STUD EACH END



2 TYPICAL DOOR CLEAR SPACE

1/4" = 1'-0"



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GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD OR MASONRY OR CENTERLINE OF STEEL UNLESS NOTED OTHERWISE
- PREPARE FOR NEW WORK BY REMOVING EXISTING SURFACE FINISHES, AS NECESSARY TO PROVIDE FOR PROPER INSTALLATION OF NEW WORK AND NEW FINISHES.
- FIT WORK TIGHT TO ADJACENT ELEMENTS. MAINTAIN INTEGRITY OF WALL, CEILING, OR FLOOR CONSTRUCTION, COMPLETELY SEAL VOIDS.
- WHERE REMOVAL OF AN ELEMENT RESULTS IN ADJACENT SPACES BECOMING ONE, RENOV FLOORS, WALLS AND CEILINGS TO CREATE A SMOOTH PLANE WITHOUT BREAKS, STEPS OR BULKHEADS.
- WHERE NEW WORK ABUTS OR ALIGNS WITH EXISTING, MAKE A SMOOTH AND EVEN TRANSITION. PATCH WORK SHALL MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPEARANCE. WHERE FINISH SURFACES ARE CUT SO THAT A SMOOTH TRANSITION WITH NEW WORK IS NOT POSSIBLE, TERMINATE EXISTING SURFACE ALONG A STRAIGHT LINE AT NATURAL LINE OF DIVISION.
- COORDINATE ALL WORK WITH MECHANICAL AND ELECTRICAL TRADES. VERIFY EXACT SIZE AND LOCATION OF ALL COMPONENTS TO INTERFACE WITH WALLS, FLOORS, CEILINGS, OR ROOFS.

NO.	DESCRIPTION	DATE
6		
5		
4		
3	ADDENDUM #2	8/26/2025
2	FOR BIDS	8/1/2025
1	FOR OWNERS REVIEW	7/24/2025

FLUSHING TOWNSHIP HALL IMPROVEMENTS FOR TOWNSHIP HALL

6524 N. SEYMOUR RD
FLUSHING, MI 48433

DRAWING TITLE FLOOR PLAN, PARTIAL FRAMING PLAN AND DETAILS

PROJECT NO.	22-250
DATE	AUGUST 1, 2025
DRAWN	CRE, AJM
CHECKED	JSH

A102

CAD FILE NO.	A102
SCALE	1/8"=1'-0"
SHEET	5 OF 17

1. PROVIDE 6" GUTTERS AND DOWNSPOUTS
2. EXISTING GUTTER TO REMAIN. REWORK AS NECESSARY TO TIE INTO NEW WORK
3. ROOF CONSTRUCTION WITH ASPHALT SHINGLES TO MATCH EXISTING. BLEND EXISTING SHINGLES INTO NEW FOR SEAMLESS APPEARANCE.
4. ALUMINUM SOFFIT TO MATCH EXISTING
5. GLAZED ALUMINUM DOOR IN EXISTING FRAME
6. CONCRETE STOOP RE:4/A105
7. BRICK VENEER TO MATCH EXISTING COURSING UNLESS NOTED OTHERWISE
8. FIXED CASEMENT WINDOW ASSEMBLY
9. NOT USED
10. HOLLOW METAL DOOR AND FRAME ASSEMBLY
11. PAINT CEILING GRID AND INSTALL NEW PADS
12. REPLACE CEILING PADS
13. RELOCATED POWER POLE
14. COORDINATE AND ADJUST CEILING FRAMING FOR NEW RADIANT CEILING PANELS PROVIDE ADDITIONAL SUPPORT AS REQUIRED

RE: ELECTRICAL & MECHANICAL SHEETS FOR ADDITIONAL WORK

NEW GYPSUM BOARD

EXISTING LAY-IN CEILING GRID TO REMAIN, PROVIDE NEW PADS

NEW 2x4 ACOUSTIC LAY-IN CEILING SYSTEM

NEW 2x2 ACOUSTIC LAY-IN CEILING SYSTEM

NEW ALUMINUM SOFFIT TO MATCH EXISTING

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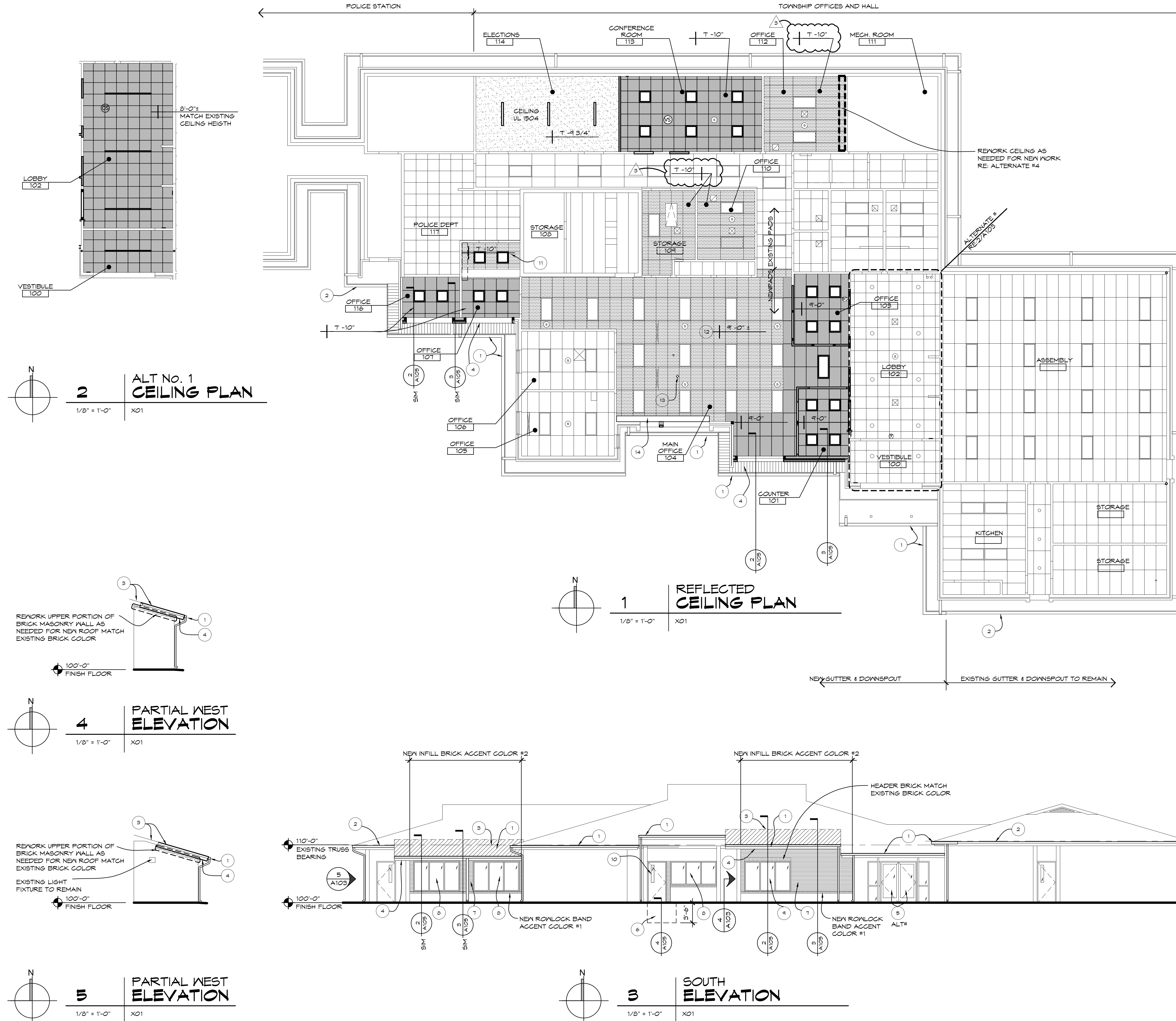
6524 N. SEYMOUR RD
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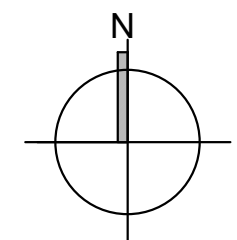
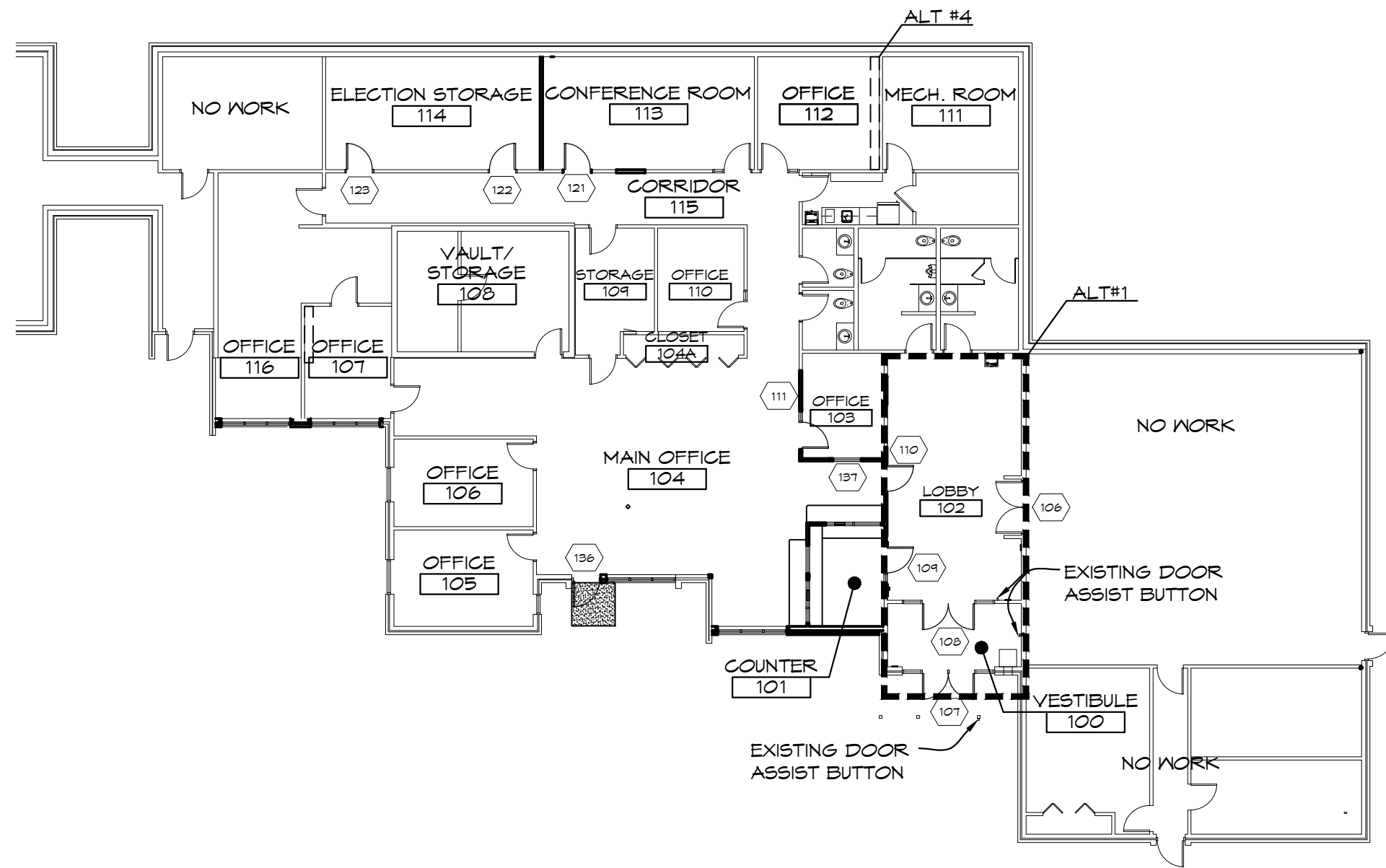
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DATE	AUGUST 1, 2025
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SCALE	1/8"=1'-0"	SHEET	6 OF 17



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Township Hall\CAD\A106-A02 - SCHEDULES AND
DETAILS.dwg
PLOT DATE: 8/28/2025 11:07 AM



7 FLOOR DIAGRAM

1/16" = 1'-0" X01

ROOM FINISH SCHEDULE										
ROOM NO.	ROOM TITLE	FLOOR	BASE	WALLS				CEILING		ACCESSORIES
		MATERIAL	MATERIAL	NORTH	EAST	SOUTH	WEST	MATERIAL	HEIGHT REF. A103	
100	VESTIBULE - BASE BID	-	-	-	-	-	-	-	-	ADA SIGN
100	VESTIBULE - ALT #1	ETR	ETR	W1	W2	W1	W1	-	-	ADA SIGN
101	CUSTOMER COUNTER	F2	B1	W1	W1	W1	W1	C1	ME 9'-0"	-
102	LOBBY - BASE BID	-	B1	-	-	-	W1	-	-	ADA SIGNS
102	LOBBY - ALT #1	F2	B1	W1	W2	W1	W1	C1	ME 8'-0"+/-	ALT #1
103	OFFICE	F1	B1	W1	W1	W1	W1	C1	9'-0"	-
104	MAIN OFFICE	F1	B1	W1	W1	W1	W1	C1	ME 9'-0"	-
104A	CLOSET	F1	B1	-	-	-	-	-	-	-
105	OFFICE	F1	B1	-	-	-	-	C2	-	-
106	OFFICE	F1	B1	-	-	-	-	C2	-	-
107	OFFICE	F1	B1	W1	W1	W1	W1	C1, C2, C3	ME T-10+/-	-
108	VAULT/ STORAGE	N	O	W	O	R	K	-	-	-
109	STORAGE	-	-	-	-	-	-	C2	ME T-10+/-	-
110	OFFICE	F1	B1	-	-	-	-	C2	-	-
111	MECH. ROOM	N	O	W	O	R	K	-	-	-
112	OFFICE - BASE BID	F1	B1	-	-	-	-	C1	ME T-10+/-	-
112	OFFICE - ALT #4	-	-	W1	W1	W1	W1	C4	ME T-10+/-	SOUND ISOLATION FOR EAST WALL
113	CONFERENCE ROOM	F1	B1	W1	W1	W1	W1	C1	ME T-10+/-	-
114	ELECTION STORAGE	F1	B1	W1	W1	W1	W1	C3	T-9'+/-	-
115	CORRIDOR	F1	B1	W1	-	-	-	-	-	-
116	OFFICE	ETR	ETR	-	-	W1	-	C1	ME T-10+/-	MATCH HEIGHT OF EXISTING NORTH CEILING



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FLOORING
F1 - CARPET
F2 - COMPOSITE SHEET FLOORING RE-SPEC
BASE
B1 - VINYL WALL BASE
WALLS
W1 - PAINT
W2 - REPLACE VINYL WALL COVERING
CEILING
C1 - LAY IN CEILING
C2 - NEW PADS
C3 - FIRE RATED GYPSUM BOARD
C4 - ADJUST EXISTING CEILING FOR SOUND ISOLATION WORK AT EAST WALL
C5 - PAINT EXISTING CEILING GRID
ABBREVIATIONS
ETR = EXISTING TO REMAIN
ME = MATCH EXISTING REA103

DOOR AND FRAME SCHEDULE

DOOR NO.	LOCATION	DOOR			FRAME			FIRE RATING (N MINUTES)	HARDWARE	NOTES		
	ROOM NAME	SIZE	TYPE	MATERIAL	TYPE	MATERIAL	HEAD				JAMB	
DOORS INCLUDED IN ALTERNATE #1												
ALT #1	106	LOBBY	(2) 3'-0"X7'-0"	A	WD	4	EX HM	---	45	H-02	ALT #1	
	107	VESTIBULE EXTERIOR	(2) 3'-0"X7'-0"	B	AL	--	EX AL	---	-	H-07	ALT#1, KEYED REMOVABLE MULLION	
	108	VESTIBULE INTERIOR	(2) 3'-0"X7'-0"	B	AL	--	EX AL	---	-	H-06	ALT #1	
DOORS INCLUDED IN BASE BID												
BASE BID	109	COUNTER	3'-0"X7'-0"	A	WD	3	HM	4/A106	3/A106	-	H-03, ALT#5= H-03	AUTO OPERATOR RE-ALT #5
	110	LOBBY	3'-0"X7'-0"	A	WD	2	HM	4/A106	3/A106	-	H-01	CYPHER LOCK
	111	OFFICE	3'-0"X7'-0"	A	WD	3	HM	4/A106	3/A106	-	H-03	
	121	CONFERENCE ROOM	3'-0"X7'-0"	A	WD	2	HM	4/A106	3/A106	-	H-03	
	122	ELECTIONS STG	3'-0"X7'-0"	A	HM	2	HM	4/A106 SIM	3/A106 SIM	60	H-04	
	123	ELECTIONS STG	3'-0"X7'-0"	A	HM	2	HM	4/A106 SIM	3/A106 SIM	60	H-04	
	136	MAIN OFFICE EXT	3'-0"X7'-0"	C	HM	2	HM	5/A106	6/A106	-	H-05	PANIC AND CYPHER LOCK
	137	OFFICE	WINDOW	---	---	1	HM	4/A106 SIM	3/A106 SIM	-	---	
NOTE: REFER TO SHEET A104 FOR ADDITIONAL INTERIOR WINDOWS AT COUNTER 101 AREA.												
EX = EXISTING												

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2	FOR BIDS	8/1/2025
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FLUSHING TOWNSHIP HALL
IMPROVEMENTS FOR
TOWNSHIP HALL

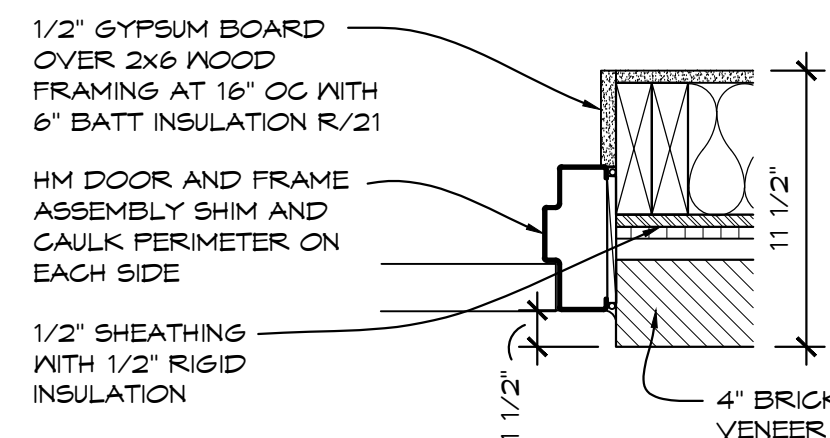
6524 N. SEYMOUR RD
FLUSHING, MI 48433

DRAWING TITLE
ROOM FINISH SCHEDULE,
DOOR SCHEDULE AND
DETAILS

PROJECT NO.	22-250
DATE	AUGUST 1, 2025
DRAWN	CRE, AJM
CHECKED	JSH

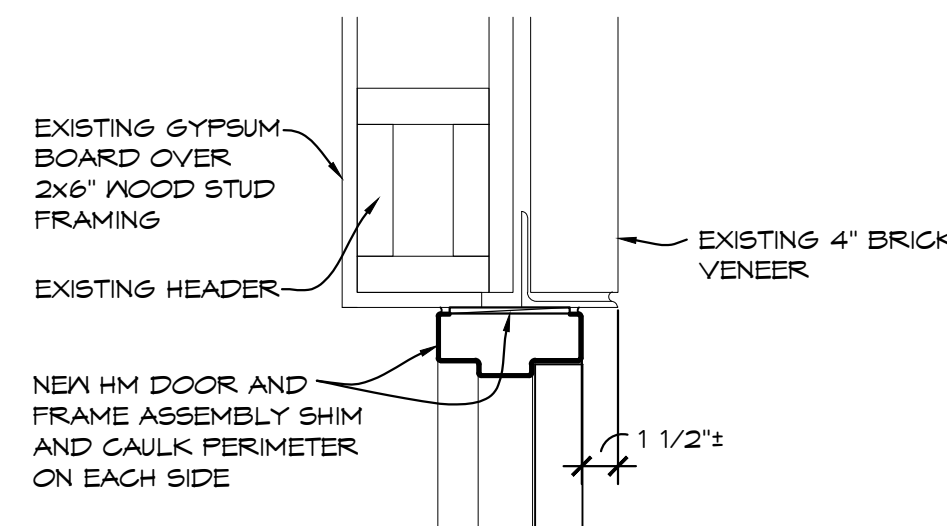
A106

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SCALE	1/4"=1'-0"
SHEET	9 OF 17



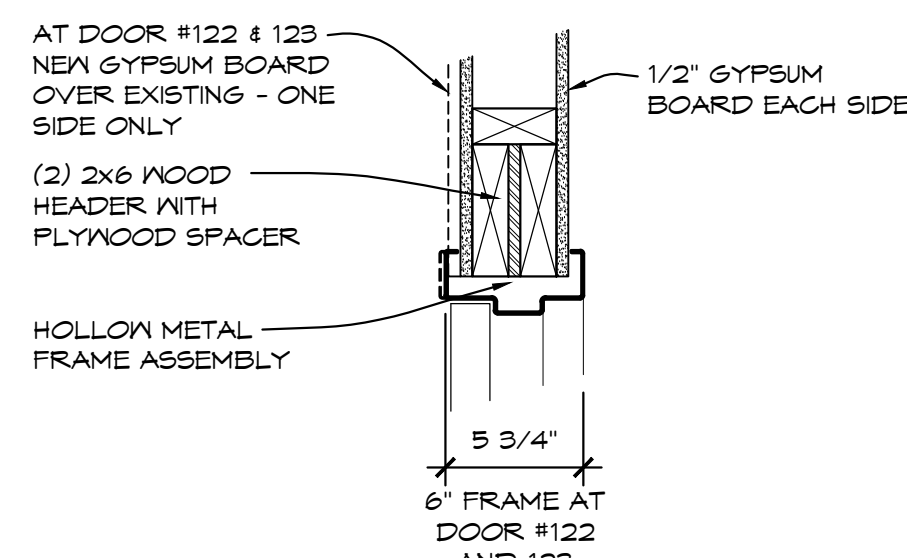
6 DOOR/ WINDOW JAMB DETAIL

1 1/2" = 1'-0" DOOR 136



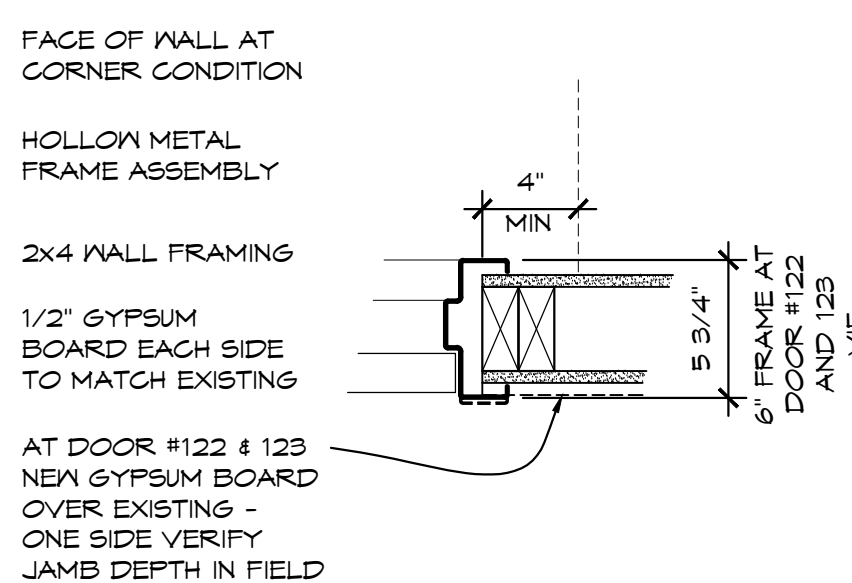
5 DOOR HEAD DETAIL

1 1/2" = 1'-0" DOOR 136



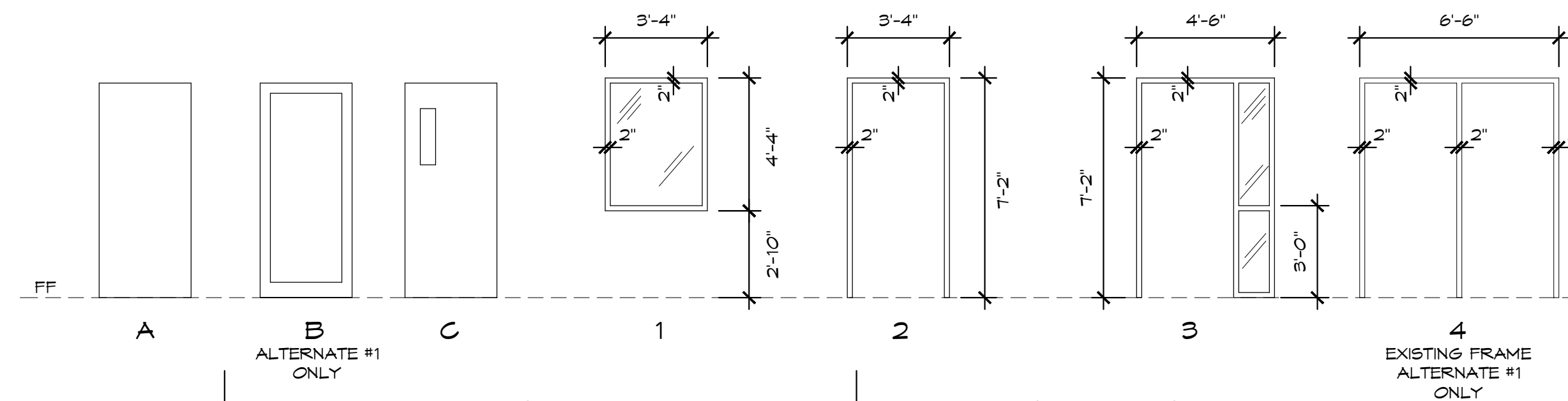
4 DOOR HEAD DETAIL

1 1/2" = 1'-0"



3 DOOR JAMB DETAIL

1 1/2" = 1'-0" HMDRDTLXX H.M.




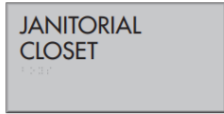
2 DOOR TYPE

1/4" = 1'-0"

1 FRAME TYPE

1/4" = 1'-0"

SIGNAGE SCHEDULE – FLUSHING TOWNSHIP HALL

Sign Type	Access Signature Series	Description		Qty	
ADA Room ID	 <p>AX313 6" x 6" Room ID Plaque</p>	<p>ADA Room Identification Sign:</p> <p>6" x 6" ADA photopolymer</p> <p>Text:</p> <p>'Customer Service'</p> <p>'Staff Only'</p> <p>'Meeting Room' – Alternate No. 1</p> <p>Wall Mount</p> <p>Concealed anchors</p>		2 +1	
ADA Room ID	 <p>AX304 4" x 8" Room ID Plaque</p>	<p>ADA Room Identification – Building Services</p> <p>4" x 8" ADA photopolymer</p> <p>Text:</p> <p>'EXIT'</p> <p>Concealed anchors</p>		2	

END OF SECTION