

CHARTER TOWNSHIP OF FLUSHING

6524 N. Seymour Road, Flushing, MI 48433

P (810) 659-0800 F (810) 659-4212

www.flushingtowship.com

ZONING BOARD OF APPEALS SPECIAL MEETING AGENDA

DATE: SEPTEMBER 25, 2023

TIME: 4:00 P.M.

MEMBERS OF ZONING BOARD OF APPEALS

Chair – Steve Moulton

Andrew Eichorn

Vice Chair – Richard Vaughn

James Sarka

Planning Commission Representative – Craig Davis

Makenzie Dearlove, Recording Secretary

I. CALL THE MEETING TO ORDER:

ROLL CALL

PLEDGE OF ALLEGIANCE

II. APPROVAL OF AGENDA

III. APPROVAL OF PREVIOUS MINUTES: SEPTEMBER 5, 2023

IV. PUBLIC COMMENTS: Pertaining to Agenda Items Only. Each speaker limited to three minutes.

V. UNFINISHED BUSINESS: None

VI. NEW BUSINESS

1. Public Hearing for the Variance Request for increase in floor space at Bear's Corner Party Store located at 5519 N. Elms Rd Flushing, Michigan 48433, Parcel Number: 08-24-200-011, pursuant to *Flushing Township Code of Ordinances, Chapter 36, Article 1, Sec. 36-310.*
2. Motion on the Variance Request for increase in floor space at Bear's Corner Party Store located at 5519 N. Elms Rd Flushing, Michigan 48433, Parcel Number: 08-24-200-011, pursuant to *Flushing Township Code of Ordinances, Chapter 36, Article 1, Sec. 36-310.*

VII. NEXT REGULAR MEETING:

TUESDAY, DECEMBER 5, 2023 AT 7:00 P.M.

VIII. ADJOURNMENT



CHRIS CZYZIO, Zoning Administrator
Charter Township of Flushing

CHARTER TOWNSHIP OF FLUSHING

6524 N. SEYMOUR ROAD, FLUSHING, MI 48433

P (810) 659-0800 F (810) 659-4212

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ZONING BOARD OF APPEALS MINUTES

DATE: Sept. 5, 2023

TIME: 7:00 P.M.

MEMBERS OF ZONING BOARD OF APPEALS

Chair – Steve Moulton

Andrew Eichorn

Vice Chair – Richard Vaughn

James Sarka

Planning Commission Representative – Craig Davis

Jeanette Sizemore, Recording Secretary

PRESENT: Vaughn, Sarka, Moulton, Eichorn and Davis

ABSENT: None

OTHERS PRESENT: 5

I. MEETING CALLED TO ORDER at 7:01P.M. by Zoning Board of Appeals
Chairperson Moulton with Roll Call and Pledge to the American Flag.

II. APPROVAL OF AGENDA:

MR. VAUGHN moved, supported by Mr. Eichorn to approve the agenda.

THE MOTION Carried.

III. APPROVAL OF PREVIOUS MINUTES:

MR. DAVIS moved, supported by Mr. Vaughn to approve the minutes of the July 17th, 2023 meeting.

ACTION ON THE MOTION

ROLL CALL VOTE:

AYES: 5

NAYS: 0

ABSENT: 0

THE MOTION Carried.

IV. PUBLIC COMMENTS:

OPEN FOR PUBLIC COMMENTS 7:01 P.M.

NONE

CLOSED FOR PUBLIC COMMENTS 7:02 P.M.

V. UNFINISHED BUSINESS

NONE

VI. NEW BUSINESS

1. Public Hearing for the Variance Request for signage setback, height and area requirement for Valero at 8464 W. Mt. Morris Road, Flushing, Michigan 48433, Parcel Numbers: 08-02-300-021 and 08-02-300-022, pursuant to *Flushing Township Code of Ordinances, Chapter 36, Article 17, Sec. 36-1727 Commercial, C2 Permanent Signs.*

Public Hearing opened at 7:03P.M.

Chairperson Moulton, asked how many gas stations do you own?

Applicant Hansen-9 in various areas

Chairperson Moulton-is the signage similar to the City of Flushing?

Applicant explained signage was the same as his Valero station in the City of Flushing.

Chairperson Moulton- if held to the requirements of our ordinances what would that do negatively to your business?

Applicant Hansen-visibly would be an issue. The proposed new sign would be in the general area of the existing sign. Applicant Hansen brought in sketch of new proposed sign.

Applicant Hansen has been working with Bill Dilorenzo from Genesee County Road Commission.

Chairperson Moulton asked Hansen if Genesee County Road Commission has any issues with the placement of the sign.

Applicant Hansen-we don't know if the Genesee County Road Commission has issues, did not ask Genesee County Road Commission about signage.

Zoning Administrator Chris Czyzio- Mentioned the sign is larger, taller and in the right of way.

Public Hearing closed at 7:18P.M.

2. Motion on the Variance Request for signage setback, height and area requirement for Valero at 8464 W. Mt. Morris Road, Flushing, Michigan 48433, Parcel Numbers: 08-02-300-021 and 08-02-300-022, pursuant to *Flushing Township Code of Ordinances, Chapter 36, Article 17, Sec. 36-1727 Commercial, C2 Permanent Signs.*

Mr. Vaughn moved, supported by Mr. Davis to approve the Variance Request as submitted for signage setback, as presented in the actual drawing height of 20 feet total, area not to exceed 80 square feet and requirements to be placed as depicted on site plans presented to the ZBA this evening, Job #26628 as prepared by Flint Surveying & Engineering Co. for Valero at 8464 W. Mt. Morris Road, Flushing, Michigan 48433, Parcel Numbers: 08-02-300-021 and 08-02-300-022, pursuant to *Flushing Township Code of Ordinances, Chapter 36, Article 17, Sec. 36-1727 Commercial, C2 Permanent Signs*.

After much discussion the following motion was made.

ACTION ON THE MOTION

ROLL CALL VOTE:

AYES: Sarka, Moulton, Eichorn, Davis, Vaughn

NAYS: 0

ABSENT: 0

THE MOTION 0

X. NEXT REGULAR SCHEDULED MEETING

Special ZBA, September, 25th, 2023 at 4:00 P.M.

TUESDAY, December 5, 2023 AT 7:00 P.M.

XI. ADJOURNMENT

With no further business, the meeting adjourned at 7:21 P.M.

STEVE MOULTON, Chairperson

JEANETTE SIZEMORE, Recording Secretary

Date of Approval

VARIANCE REQUEST FORM

Variance Request
Variance Fee: 800.00
Date Paid: 8-22-23
Date Notice was Published: _____
Date of Public Hearing: _____
Affidavit Attached: _____

RECEIVED RECEIVED
AUG 22 2023 ~~**AUG 18 2023**~~ **CJC**
CHARTER TOWNSHIP OF FLUSHING CHARTER TOWNSHIP OF FLUSHING

FLUSHING TOWNSHIP ZONING BOARD OF APPEALS VARIANCE REQUEST

Required information from owner or person having interest in requesting Zoning Board of Appeals (ZBA) review and opinion.

1. Name of applicant/owner requesting ZBA review and opinion.

A. Applicant

Name: BALJINDER SINGH
Address: 7561 River Rd
Flushing, MI, 48433
Phone: 9142181341

B. Owner of property if different than above

Name: BALJINDER SINGH (SAME)
Address: 7561 River Rd
Flushing, MI, 48433
Phone: 9142181341

2. Location of Property:

Street number and name: 5519 N ELMS RD
Property tax identification number: 08-24-200-011
Legal description of property involved: _____

List deed restrictions and easements: N/A

Present zoning of property: C2

3. With all requests, a plot plan drawn to scale (1" = 20') showing lot, location of existing buildings, proposed buildings and additions to existing buildings, plus distance from property line, is required.

4. Answer the following questions of the affidavit:

a. Will the strict enforcement of the provisions of the township zoning ordinance unreasonably prevent the owner from using the property for a permitted purpose, or would render conformity unnecessarily burdensome? _____

If yes, how? yes, reduction in floor space.

b. Is the need for a variance due to unique circumstances of the property? _____

If yes, please describe. yes, reduction in the floor space.

c. Did you create the problems you are trying to get around? NO

d. Will the requested variance confer special privileges that are denied other properties similarly situated and in the same zoning district? NO

e. Will the requested variance be contrary to the spirit and intent of this zoning district and public safety? NO

ACKNOWLEDGEMENT AND CERTIFICATION: It is hereby acknowledged that the applicant(s) has fully read and completed the above application. It is also understood that in case of cancellation or failure of the owner or his representative to appear at the hearing, I understand that all fees will be forfeited.

BALJINDER SINGH
Signature of Applicant

Signature of Owner
(If different than applicant)

ZONING BOARD OF APPEALS:

The Zoning Board of Appeals (ZBA) having reviewed the submitted data do hereby:

() APPROVE () DISAPPROVE the application for the following reasons: _____

If approved, are there conditions? _____

Date

Zoning Board of Appeals Chairperson

Sec. 36-310. Non Conforming Structure

- (A) The use of or occupancy of a non conforming structure, which was a lawful structure on April 8, 1983, may be continued; provided, however, no enlargement, change, or alteration shall be permitted upon such non conforming structure, except upon a finding by the building inspector that such enlargement, change or alteration will bring such structure into conformance with this chapter, and that the use within such structure is in conformity with the requirements of this chapter. **No enlargement, change, or alteration of a non conforming structure housing a non conforming use shall be permitted, except upon a finding by the board of zoning appeals that such enlargement, change, or alteration will permit greater compliance with the provisions, as required by the board of zoning appeals,** and are installed or instituted to minimize the detrimental effects of the non conforming use upon adjoining conforming use.
- (B) Nothing in this chapter shall be deemed to prevent the strengthening or restoring to a safe condition of any structure, or part thereof, declared to be unsafe by any official charged with providing for the public safety, and which strengthening or restoration is ordered by such official.

Sec. 36-311. Non Conforming Lot

- (A) Any lot which was lawful on April 8, 1983, but does not comply with all the provisions of this chapter may be continued in use; provided, however, the change in use of, or the location, modification, or construction of any structure on such lot shall not be permitted, unless all side, front, and rear setbacks can be satisfied or except upon a variance approved by the board of zoning appeals based upon a finding that such a variance is warranted, and subject to such conditions as the board may find necessary to provide for the public health, safety, morals, and general welfare.
- (B) No building permit shall be issued for the construction of any structure upon any lot within any zoning district, which lot cannot meet the dimensional standards and requirements of such district and which lot was created after the enactment of this zoning ordinance, or after the enactment of any amendment which affects such standards or requirements, except as provided above.

Sec. 36-312. Destruction of Structure

Nothing in this chapter shall prevent the restoration, rebuilding, or repairing of any non conforming structure, or a structure housing a non conforming use, which structure has been damaged by fire, acts of God, or any act of a public enemy, subsequent to December 5, 1989, in amount up to and including sixty-five (65) percent of the replacement value of the structure as determined by an assessment board consisting of a qualified appraiser appointed by the Township Board, another by the owner of the structure, and a third appointed by the first two (2) appointees, with the cost of such appraiser shared equally by the township and the owner, and provided that the restoration or repairing shall have commenced and is diligently pursued within one (1) year after the date of destruction. Any non-conforming structure, or a structure housing a non-conforming use which has been damaged by fire, acts of God, or any act of a public enemy in an amount greater than sixty-five (65) percent of replacement value may be rebuilt only if it meets existing zoning regulations and any use housed by the structure must also conform to the existing regulations.

Sec. 36-313. Maintenance of Non Conforming Uses

Nothing in this chapter shall prevent the renovation or repair of non structural members, or the maintenance of a non conforming structure made necessary by ordinary wear and tear,



BUILDING RENOVATIONS FOR BEAR'S CORNER PARTY STORE

5519 N. ELMS RD., FLUSHING, MI 48433

JOHN K. COSTA, AIA
ARCHITECTURAL DESIGN
& CONSULTATION, PLLC
417 O.D. MILL DRIVE
FLUSHING, MICHIGAN 48433
810-659-5275 FAX 810-659-5299

BUILDING RENOVATIONS FOR
BEAR'S CORNER PARTY STORE
5519 N. ELMS RD., FLUSHING, MI 48433

COVER/TITLE SHEET
AND NOTES

REVISIONS	
1	8-1-2023
2	9-6-2023
3	
4	
JOB NO: 023-035	
DATE: 6-1-2023	
DRAWN BY: GH, JKC	
SCALE: AS NOTED	
SHEET NO:	
A	

BUILDING DATA/ CODE REVIEW

PROJECT SCOPE CONSISTS OF COOLER ADDITION, EXTERIOR AND INTERIOR RENOVATIONS OF EXISTING CONVENIENCE STORE. RENOVATIONS INCLUDE SELECTIVE DEMOLITION, NEW INTERIOR PARTITIONS FOR NEW LAYOUT, NEW EQUIPMENT, AND NEW INTERIOR AND EXTERIOR FINISHES. MICHIGAN REHABILITATION CODE CLASSIFICATION OF WORK- ALTERATION LEVEL 3.

APPLICABLE CODES:
MICHIGAN BUILDING CODE- 2015
MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS- 2015
ACCESSIBILITY: ICC/ANSI A117-2004
INTERNATIONAL FIRE CODE- 2015
MICHIGAN MECHANICAL CODE- 2015
MICHIGAN PLUMBING CODE- 2015
STATE OF MICHIGAN ELECTRICAL CODE (MEC-2017) W/ PART 8 AMENDMENTS

1. USE GROUP:
M, MERCANTILE (MARKET/CONVENIENCE STORE)

2. TYPE OF CONSTRUCTION:
A) TYPE VB (5B), COMBUSTIBLE, UNPROTECTED

3. ALLOWABLE BUILDING AREA (TABLE 506.2):
GROUP M, 50' x 4,000 SF, ALLOWED

EXISTING CONVENIENCE STORE-	1,800 SQ. FT.
COOLER ADDITION-	144 SQ. FT.
TOTAL BUILDING-	1,944 SQ. FT.

4. OCCUPANT LOAD (TABLE 1004.1.2):
CONVENIENCE STORE:
MERCANTILE AREAS= 60 GROSS SQ. FT./PER OCCUPANT
STORAGE/STOCK AREAS= 300 GROSS SQ. FT./ OCCUPANT
MERCANTILE AREAS= 907 SQ. FT./ 60= 15 OCCUPANTS
STORAGE/STOCK AREAS= 436 SQ. FT./ 300= 2 OCCUPANTS
CONVENIENCE STORE OCCUPANT LOAD= 17 OCCUPANTS

5. SEPARATION FROM OTHER USES, (MEC TABLE 500.3.3)
A) NO SEPERATION REQUIRED

6. AUTOMATIC SPRINKLER SYSTEM, (SEC. 903.2.1)
A) THE EXISTING BUILDING DOES NOT CONTAIN AN AUTOMATIC SPRINKLER SYSTEM, AND IT IS NOT REQUIRED FOR THIS USE.

7. FIRE ALARM AND DETECTION SYSTEM SHALL BE PROVIDED AS REQUIRED PER SECTION 907 OF THE CODE. THE OCCUPANT LOADS DO NOT EXCEED THE NUMBER ALLOWED FOR A, B, OR M USES, THEREFORE NOT REQUIRED.

8. NUMBER OF EXITS AND CONTINUITY (MEC, SECTION 1006.2.1):
OCCUPANT LOAD IS LESS THAN 44 OCCUPANTS, AND TRAVEL DISTANCE IS LESS THAN 75 FEET, ONE EXIT REQUIRED, ONE EXIT PROVIDED.

9. DOOR SWING (SECTION 1010.1.2):
DOORS SHALL SWING IN THE DIRECTION OF EGRESS WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS.

10. MEANS OF EGRESS DOORS (SECTION 1010.1.4):
THE MEANS OF EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. HARDWARE INCLUDING DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES ARE REQUIRED TO BE ACCESSIBLE PER CHAPTER II OF THE BUILDING CODE AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.

11. MEANS OF EGRESS ILLUMINATION (SECTION 1008):
THE MEANS OF EGRESS SHALL BE ILLUMINATED AT ALL TIMES THE SPACE IS OCCUPIED. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.

12. EXIT SIGNS (SECTION 1013):
EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.

13. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808.

a) MALL AND CEILING FINISHES (TABLE 803.1), NON-SPRINKLED ROOMS OR SPACES OF USE GROUP M, AND B, , SHALL HAVE A MINIMUM CLASS C RATING. FLAME SPREAD 76-200, SMOKE DEVELOPED 0-450.

b) INTERIOR FLOOR FINISHES (SECTION 804), WHERE A BUILDING IS NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM, CLASS II (2) MATERIALS ARE PERMITTED IN GROUPS B AND M.

14. GLASS AND GLAZING (CHAPTER 24):
ALL INTERIOR GLAZING SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 2401 THROUGH 2406.

15. ACCESSIBLE SERVICE COUNTERS (SECTION 1014.2.3):
WHERE COUNTERS ARE PROVIDED FOR SALES OR DISTRIBUTION OF GOODS OR SERVICES, AT LEAST ONE OF EACH TYPE PROVIDED SHALL BE ACCESSIBLE. A PORTION OF THE COUNTER SURFACE SHALL BE A MINIMUM 36 INCHES IN LENGTH AND 36 INCHES MAXIMUM IN HEIGHT ABOVE THE FLOOR.

16. PORTABLE FIRE EXTINGUISHERS, (SECTION 906.1):
a) THE CONTRACTOR SHALL PROVIDE A TEMPORARY PORTABLE FIRE EXTINGUISHER ON THE PREMISES OF THE PROJECT DURING CONSTRUCTION.
b) PROVIDE A PERMANENT PORTABLE FIRE EXTINGUISHER MEETING REQUIREMENTS FOR MODERATE- HAZARD, CLASS A FIRES.

17. MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (2015 MFC, TABLE 403.1):
M, MERCANTILE (CONVENIENCE STORE)
WATER CLOSETS, MALE AND FEMALE, 1 PER 500
LAVATORIES, MALE AND FEMALE, 1 PER 750
BATH/SHOWER, N/A
DRINKING FOUNTAIN, 1 PER 1,000
(1) SERVICE SINK.

SCHEDULE OF DRAWINGS

A	COVER/TITLE SHEET	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
S1	FOUNDATION PLAN AND NOTES	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
S2	ROOF FRAMING PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
A1	DEMOLITION PLAN AND NOTES	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
A2	DEMOLITION ELEVATIONS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
A3	FLOOR PLAN AND NOTES	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
A4	EXTERIOR ELEVATIONS AND BUILDING SECTIONS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
A5	REFLECTED CEILING PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

OTHER REVIEW	7-28-2023
REVISION #1	8-1-2023
REVISION #2	9-6-2023

J.K.C.
9-6-2023
STATE OF MICHIGAN
JOHN K. COSTA
ARCHITECT
NO. 1301236457
LICENSED ARCHITECT

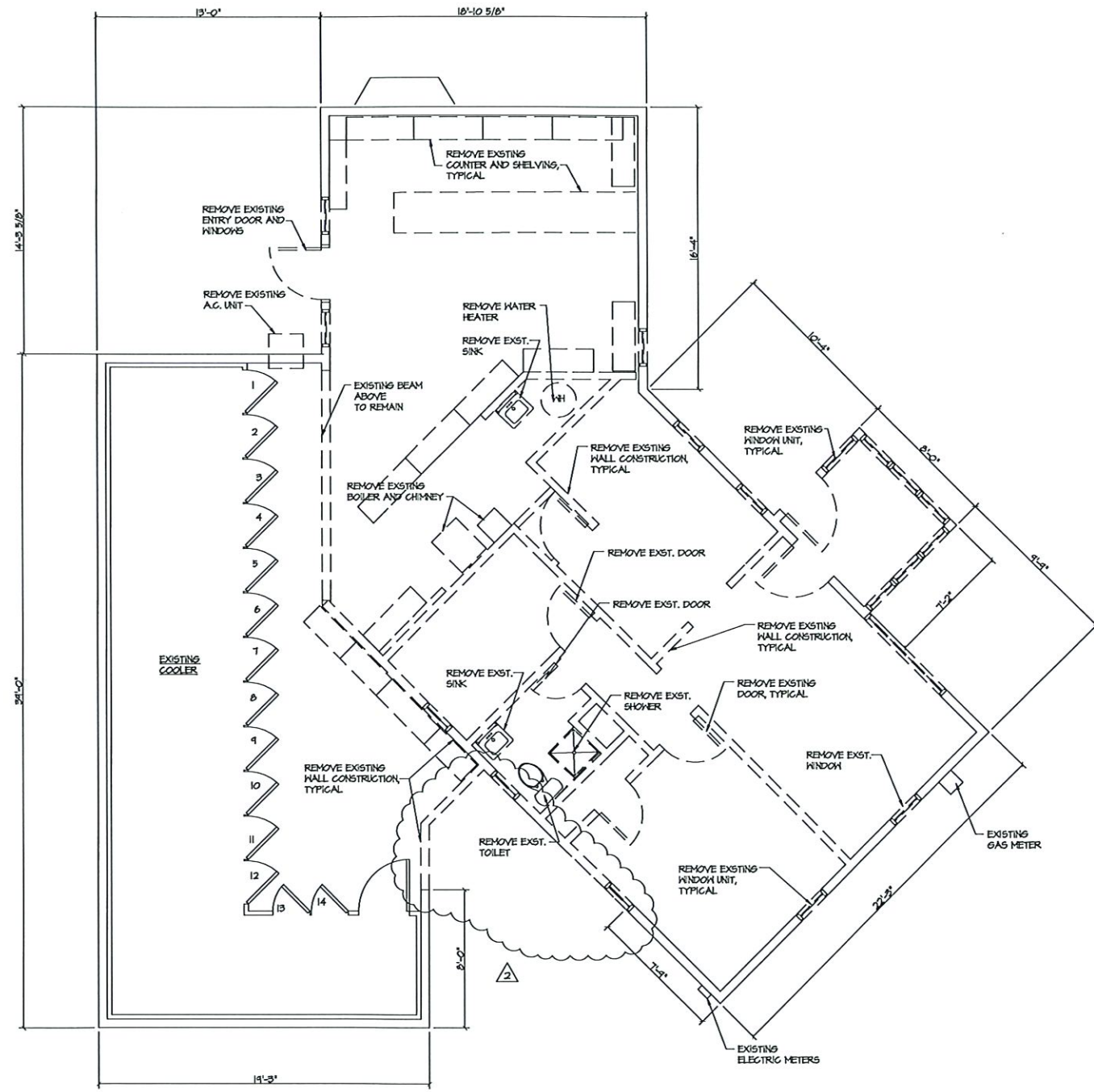
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SEP 06 2023
CHARTER TOWNSHIP
OF FLUSHING



REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE:
JOHN K. COSTA, AIA, STATE OF MICHIGAN I.D. NO. 1301236457
EXPIRATION DATE: NOVEMBER 04, 2023.

THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR THE LOCAL MUNICIPALITY CONSTRUCTION BOARDS OF APPEALS. BILLINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

DEFERRED SUBMITTALS:
PLUMBING DRAWINGS AND SPECIFICATIONS
MECHANICAL DRAWINGS AND SPECIFICATIONS
ELECTRICAL DRAWINGS AND SPECIFICATION



PRIOR TO DEMOLITION OF EXISTING LOAD BEARING WALL, CONTRACTOR IS TO PROVIDE TEMPORARY SHORING, AND BRACING AS REQUIRED TO MAINTAIN STABILITY OF STRUCTURE. SHORING AND BRACING SHALL BE DESIGNED AND APPROVED BY PROFESSIONAL STRUCTURAL ENGINEER.

DEMOLITION PLAN
 1/4" = 1'-0"

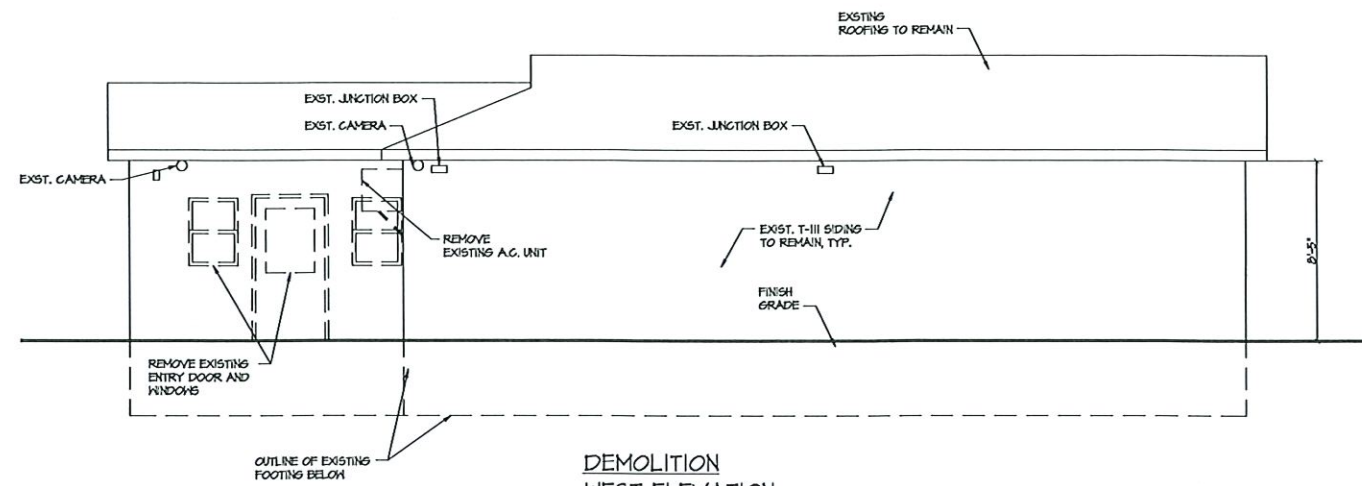
SAW CUT AND DEMOLITION OF EXISTING CONCRETE FLOOR SLAB NOT SHOWN. COORDINATE EXACT LOCATIONS AND REQUIREMENTS WITH PLUMBING CONTRACTOR.

DEMOLITION NOTES

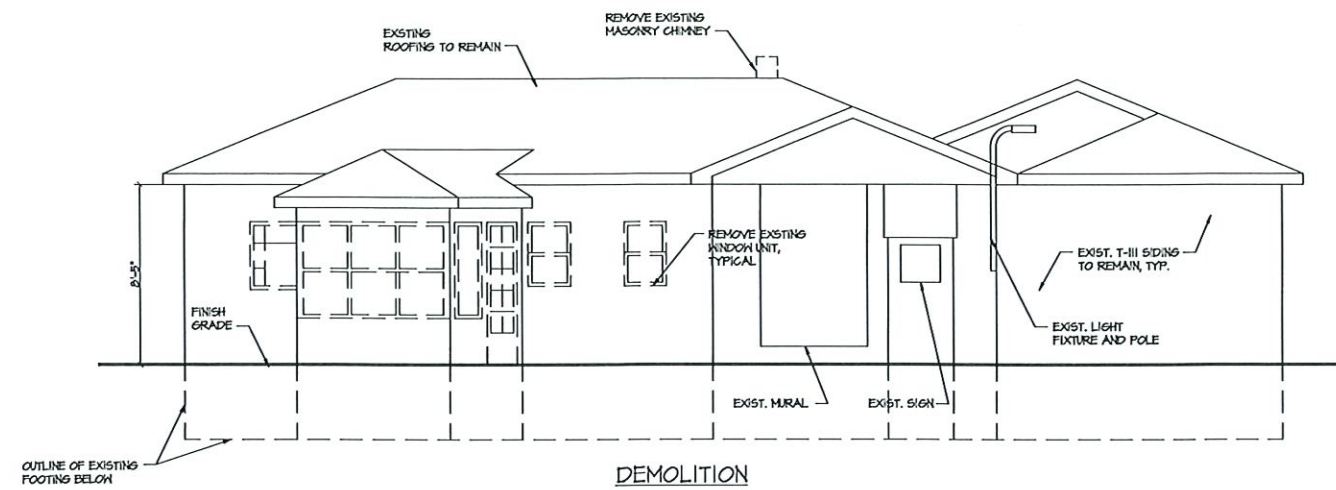
- D1. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- D2. ALL WORK PROVIDED AND INSTALLED BY THE CONTRACTORS SHALL MEET THE LATEST EDITIONS OF ALL STATE, LOCAL, FEDERAL AND NEG. REGULATIONS AND CODES.
- D3. THE EXISTING LAYOUT AND DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE USED FOR BIDDING PURPOSES ONLY. ACTUAL FIELD VERIFICATION OF ALL EXISTING CONDITIONS SHALL BE UTILISED PRIOR TO COMMENCEMENT OF ANY DEMOLITION, OR LAYOUT AND INSTALLATION OF ANY NEW CONSTRUCTION.
- D4. REMOVE EXISTING FLOOR, WALL, AND CEILING FINISHES AS REQD, AND PREPARE ALL SURFACES TO RECEIVE NEW FINISHES AS REQUIRED. VERIFY AND COORDINATE LOCATIONS WITH OWNER, PRIOR TO DEMOLITION.
- D5. CONTRACTOR TO COORDINATE WITH OWNER, ALL EXISTING SHELVING, GASES AND EQUIPMENT ITEMS INDICATED TO BE REMOVED AND/OR RELOCATED PRIOR TO ANY DEMOLITION.
- D6. ALL AREAS OF DEMOLITION, WHERE ADJACENT MATERIALS REMAIN, CONTRACTOR IS TO PATCH EXISTING TO MATCH EXISTING CONSTRUCTION AND FINISHES.
- D7. THE CONTRACTOR SHALL REMOVE ALL DEMOLISHED ITEMS NOT DENOTED AS BEING RELOCATED, FROM THE SITE.
- D8. EXIST. GYP. BD. TO REMAIN, PROVIDE FINAL FINISH & PREP FOR PAINTING. REMOVE & REPAIR GYP. BD. AS REQD. FOR ALL NEW WORK, REPAIR/ REPLACE DAMAGED GYP. BD. AS REQD.
- D9. REMOVE ALL ABANDONED OR INACTIVE EQUIPMENT, DUCT WORK, LIGHT FIXTURES, WIRING, ETC. COMPLETELY BACK TO SOURCE. COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTOR PRIOR TO DEMOLITION.
- D10. SAWCUT AND REMOVE PORTIONS OF EXISTING CONCRETE FLOOR SLAB AS REQUIRED FOR NEW PLUMBING AND ELECTRICAL INSTALLATION. COORDINATE EXACT SIZE AND PLACEMENT WITH SUB-CONTRACTORS.
- D11. PRIOR TO DEMOLITION OF EXISTING LOAD BEARING WALLS, CONTRACTOR IS TO PROVIDE TEMPORARY SHORING, AND BRACING AS REQUIRED TO MAINTAIN STABILITY OF STRUCTURE.
- D12. EXISTING ROOF STRUCTURAL SUPPORT IS UNKNOWN AND UNDETERMINED. DO NOT REMOVE ANY EXISTING WALL, UNTIL AFTER VERIFICATION BY THE ARCHITECT OR A STRUCTURAL ENGINEER. REMOVE EXISTING WALL FINISHES ONLY, UNTIL ROOF SUPPORT HAS BEEN DETERMINED.
- D13. PRIOR TO ANY DEMOLITION OR EXCAVATION CONTACT M56 D16 SYSTEM, 811 OR 800-482-7111

REVISIONS	
1	8-7-2023
2	4-6-2023

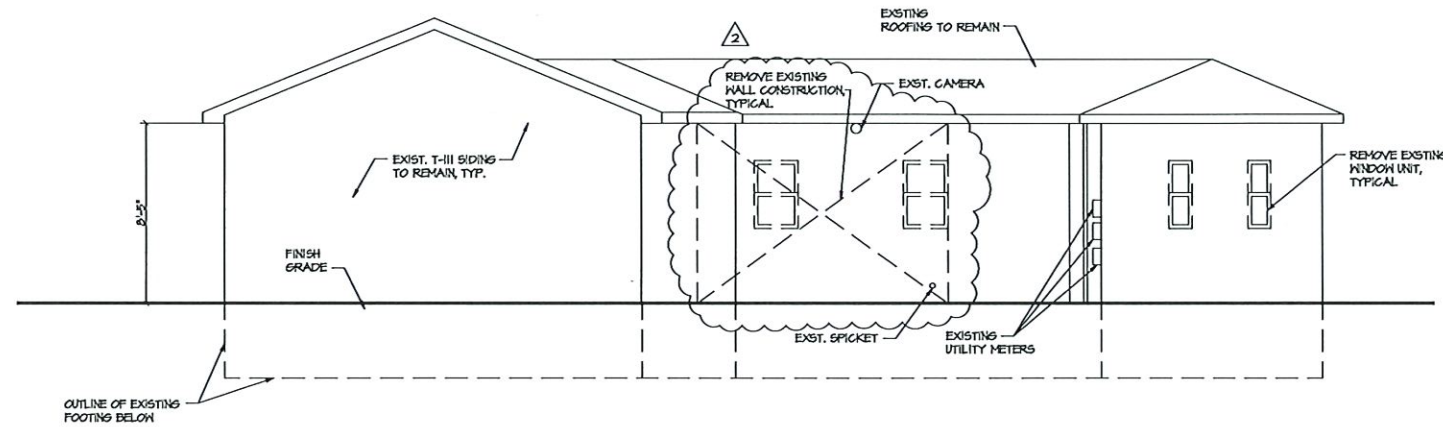
JOB NO: 023-035
 DATE: 6-1-2023
 DRAWN BY: JKC, JH
 SCALE: AS NOTED
 SHEET NO:



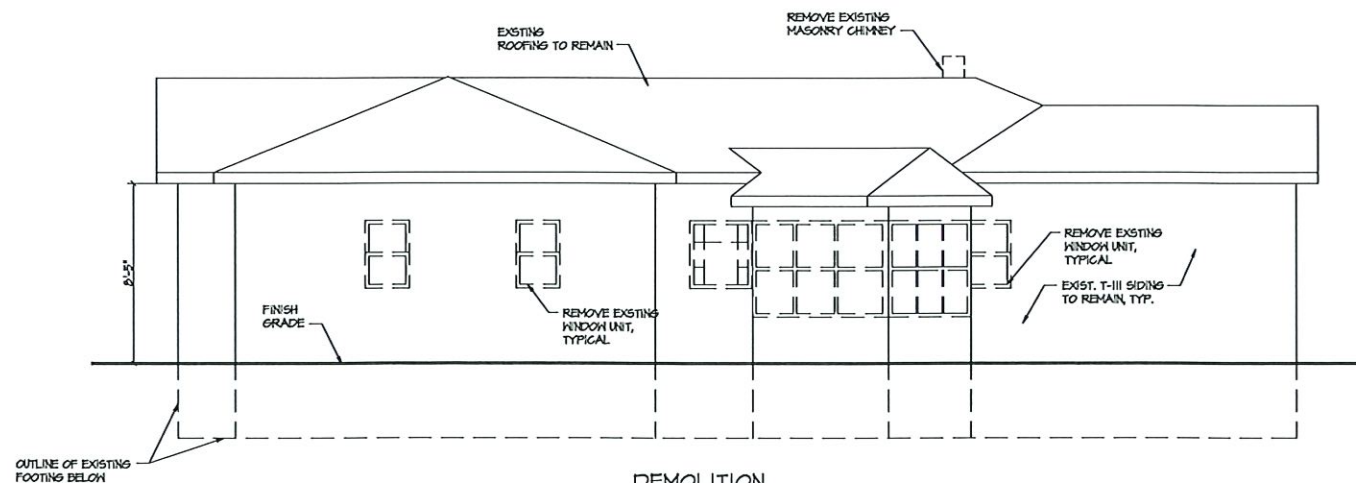
DEMOLITION
WEST ELEVATION
1/4" = 1'-0"



DEMOLITION
NORTH ELEVATION
1/4" = 1'-0"



DEMOLITION
SOUTH ELEVATION
1/4" = 1'-0"



DEMOLITION
EAST ELEVATION
1/4" = 1'-0"

PRIOR TO DEMOLITION OF EXISTING LOAD BEARING WALL, CONTRACTOR IS TO PROVIDE TEMPORARY SHORING, AND BRACING AS REQUIRED TO MAINTAIN STABILITY OF STRUCTURE. SHORING AND BRACING SHALL BE DESIGNED AND APPROVED BY PROFESSIONAL STRUCTURAL ENGINEER.

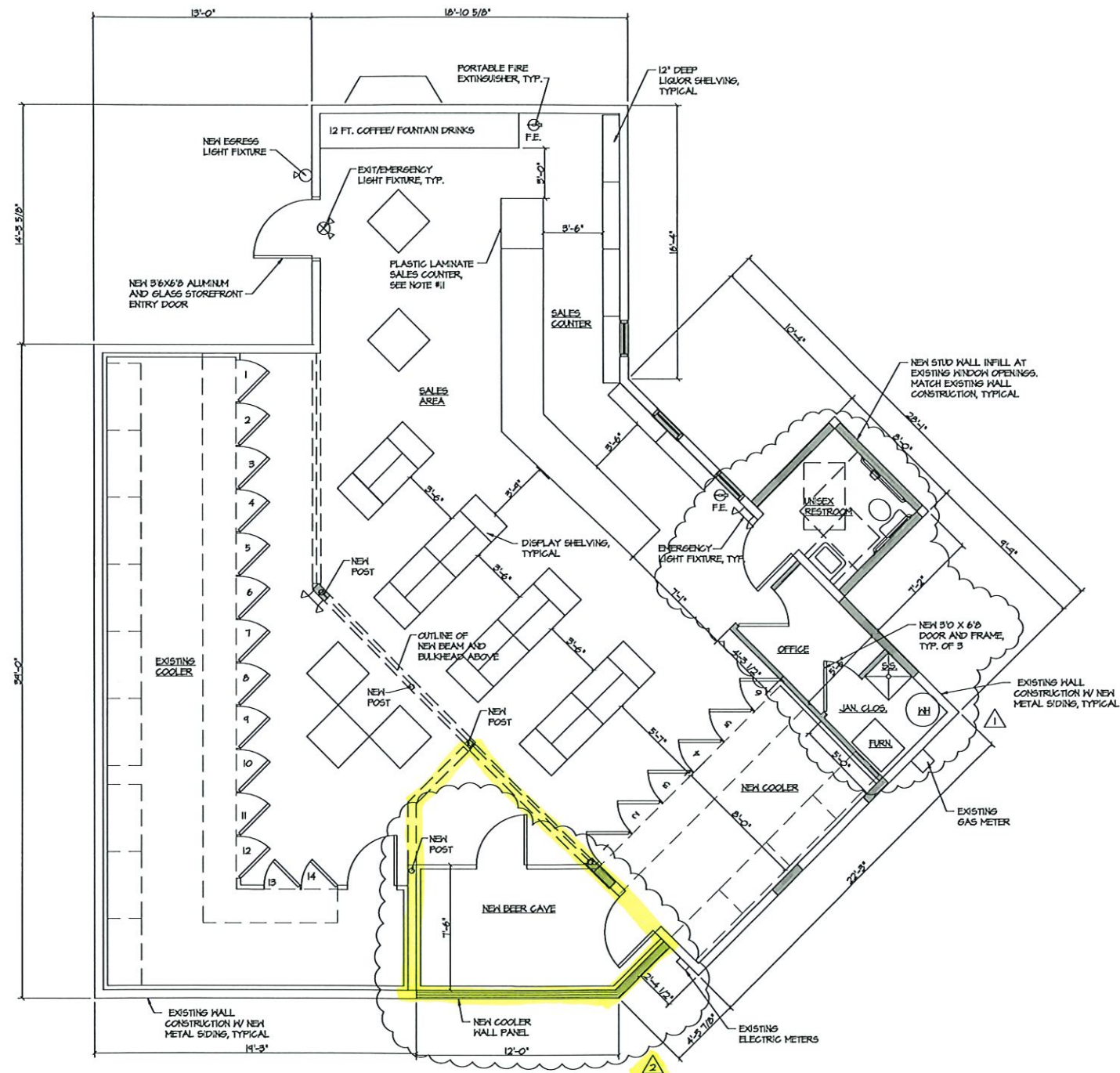
SAWCUT AND DEMOLITION OF EXISTING CONCRETE FLOOR SLAB NOT SHOWN. COORDINATE EXACT LOCATIONS AND REQUIREMENTS WITH PLUMBING CONTRACTOR.

DEMOLITION NOTES

- D1. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- D2. ALL WORK PROVIDED AND INSTALLED BY THE CONTRACTORS SHALL MEET THE LATEST EDITIONS OF ALL STATE, LOCAL, FEDERAL, AND N.E.C. REGULATIONS AND CODES.
- D3. THE EXISTING LAYOUT AND DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE USED FOR BIDDING PURPOSES ONLY. ACTUAL FIELD VERIFICATION OF ALL EXISTING CONDITIONS SHALL BE UTILISED PRIOR TO COMMENCEMENT OF ANY DEMOLITION, OR LAYOUT AND INSTALLATION OF ANY NEW CONSTRUCTION.
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- D5. CONTRACTOR TO COORDINATE WITH OWNER, ALL EXISTING SHELVING, CAGES AND EQUIPMENT ITEMS INDICATED TO BE REMOVED AND/OR RELOCATED PRIOR TO ANY DEMOLITION.
- D6. ALL AREAS OF DEMOLITION WHERE ADJACENT MATERIALS REMAIN, CONTRACTOR IS TO PATCH EXISTING TO MATCH EXISTING CONSTRUCTION AND FINISHES.
- D7. THE CONTRACTOR SHALL REMOVE ALL DEMOLISHED ITEMS NOT DENOTED AS BEING RELOCATED, FROM THE SITE.
- D8. EXIST. GYP. BD. TO REMAIN, PROVIDE FINAL FINISH & PREP FOR PAINTING. REMOVE & REPAIR GYP. BD. AS REQ'D. FOR ALL NEW WORK, REPAIR/REPLACE DAMAGED GYP. BD. AS REQ'D.
- D9. REMOVE ALL ABANDONED OR INACTIVE EQUIPMENT, DUCT WORK, LIGHT FIXTURES, WIRING, ETC. COMPLETELY BACK TO SOURCE. COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTOR PRIOR TO DEMOLITION.
- D10. SAWCUT AND REMOVE PORTIONS OF EXISTING CONCRETE FLOOR SLAB AS REQUIRED FOR NEW PLUMBING AND ELECTRICAL INSTALLATION. COORDINATE EXACT SIZE AND PLACEMENT WITH SUB-CONTRACTORS.
- D11. PRIOR TO DEMOLITION OF EXISTING LOAD BEARING WALLS, CONTRACTOR IS TO PROVIDE TEMPORARY SHORING, AND BRACING AS REQUIRED TO MAINTAIN STABILITY OF STRUCTURE.
- D12. EXISTING ROOF STRUCTURAL SUPPORT IS UNKNOWN AND UNDETERMINED. DO NOT REMOVE ANY EXISTING WALL, UNTIL AFTER VERIFICATION BY THE ARCHITECT OR A STRUCTURAL ENGINEER. REMOVE EXISTING WALL FINISHES ONLY, UNTIL ROOF SUPPORT HAS BEEN DETERMINED.
- D13. PRIOR TO ANY DEMOLITION OR EXCAVATION CONTACT MISS DIG SYSTEM, 811 OR 800-482-1111

REVISIONS	
1	8-1-2023
2	1-6-2023

JOB NO: 023-035
DATE: 6-1-2023
DRAWN BY: JKC, JH
SCALE: AS NOTED
SHEET NO:



FINISH SCHEDULE:

SALES AREA:
 FLOOR: VINYL TILE AND BASE
 WALLS: PAINTED GYP. BD.
 CEILING: LAY-IN ACOUSTICAL PANELS

INSEX RESTROOM:
 FLOOR: VINYL TILE AND BASE
 WALLS: EPOXY PAINTED GYP. BD.
 CEILING: EPOXY PAINTED GYP. BD.

OFFICE/JAN. CLOSET:
 FLOOR: VINYL TILE AND BASE
 WALLS: PAINTED GYP. BD.
 CEILING: PAINTED GYP. BD.

GENERAL NOTES:

1. THE EXISTING LAYOUT AND DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE USED FOR BIDDING PURPOSES ONLY. ACTUAL FIELD VERIFICATION OF ALL EXISTING CONDITIONS SHALL BE UTILIZED PRIOR TO LAYOUT AND INSTALLATION OF ANY NEW CONSTRUCTION.
2. ALL WORK PROVIDED AND INSTALLED BY THE CONTRACTORS SHALL MEET THE LATEST EDITIONS OF ALL STATE, LOCAL, FEDERAL AND REG. REGULATIONS AND CODES.
3. ALL INTERIOR DIMENSIONS ARE TO FINISH FACE OF GYP. BD. (TYPICAL, UNLESS NOTED OTHERWISE).
4. ALL NEW INTERIOR PARTITIONS ARE 2 X 4 WOOD STUDS @ 16" O.C. W/ 5/8" GYP. BD. EACH SIDE (TYP., UNLESS NOTED OTHERWISE).
5. PROVIDE BARRIER FREE BUILDING SIGNAGE AT ENTRANCES AND TOILET ROOMS AS PER "MICHIGAN BARRIER-FREE" DESIGN REQUIREMENTS.
6. SHELVING AND EQUIPMENT LOCATIONS AND SIZES SHOWN ARE FOR REFERENCE ONLY. EXACT LOCATIONS AND SIZES ARE TO BE FIELD VERIFIED WITH OWNER AND EQUIPMENT SUPPLIER.
7. CONTRACTOR IS TO COORDINATE ALL WALL, CEILING, FLOOR, ETC. FINISHES, LOCATIONS AND MATERIAL SPECIFICATIONS WITH OWNER PRIOR TO CONSTRUCTION.
8. ALL NEW INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808.
9. PROVIDE WALL REINFORCEMENT, AND/OR PLYWOOD BACKING IN STUD WALLS FOR ATTACHMENT OF ALL ROOM ACCESSORIES, SHELVING, FURNITURE, ETC. INCLUDING OWNER SUPPLIED EQUIPMENT, ETC. COORDINATE EXACT LOCATIONS AND REQUIREMENTS WITH OWNER.
10. ALL NEW AND EXISTING DOOR HARDWARE SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTION 1008.1.4, DOOR OPERATIONS.
11. SERVICE COUNTER SHALL HAVE A PORTION A MINIMUM OF 36" WIDE AND A MAXIMUM 36" HIGH FOR BARRIER FREE ACCESS.
12. REMOVE ALL EXISTING HVAC, LIGHTING AS REQ'D. FOR NEW PARTITION AND EQUIPMENT LAYOUT. COORDINATE WALL RECEPTACLE AND SWITCH LOCATIONS WITH OWNER.
13. CONTRACTOR SHALL VERIFY AND COORDINATE THE LOCATIONS, ELEVATIONS, AND CONFIGURATIONS OF ALL MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS TO BE PROVIDED. POTENTIAL INTERFERENCES AND CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR OWNER.
14. SAWCUT AND DEMOLITION OF EXISTING CONCRETE FLOOR SLAB NOT SHOWN. COORDINATE EXACT LOCATIONS AND REQUIREMENTS WITH PLUMBING CONTRACTOR.
15. EQUIPMENT LOCATIONS AND SIZES SHOWN ARE FOR REFERENCE ONLY. EXACT LOCATIONS AND SIZES ARE TO BE FIELD VERIFIED WITH EQUIPMENT SUPPLIER AND OWNER.
16. VERIFY MANUFACTURERS ROUGH-IN PLUMBING AND ELECTRICAL REQUIREMENTS AND DIMENSIONS FOR ALL EQUIPMENT PRIOR TO CONSTRUCTION.

SAWCUT AND DEMOLITION OF EXISTING CONCRETE FLOOR SLAB NOT SHOWN. COORDINATE EXACT LOCATIONS AND REQUIREMENTS WITH PLUMBING CONTRACTOR.

PRIOR TO DEMOLITION OF EXISTING LOAD BEARING WALL CONTRACTOR IS TO PROVIDE TEMPORARY SHORING, AND BRACING AS REQUIRED TO MAINTAIN STABILITY OF STRUCTURE. SHORING AND BRACING SHALL BE DESIGNED AND APPROVED BY PROFESSIONAL STRUCTURAL ENGINEER.

N
 PROPOSED FLOOR PLAN
 1/4" = 1'-0"

REVISIONS

△	8-7-2025
△	4-6-2025
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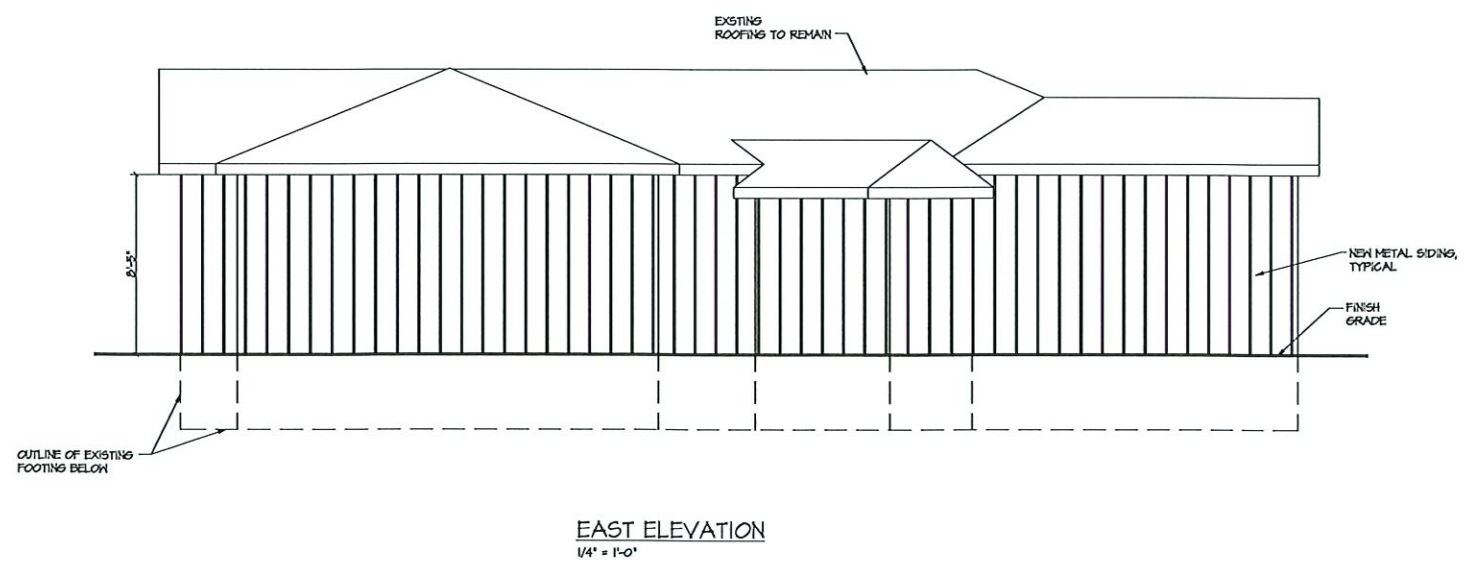
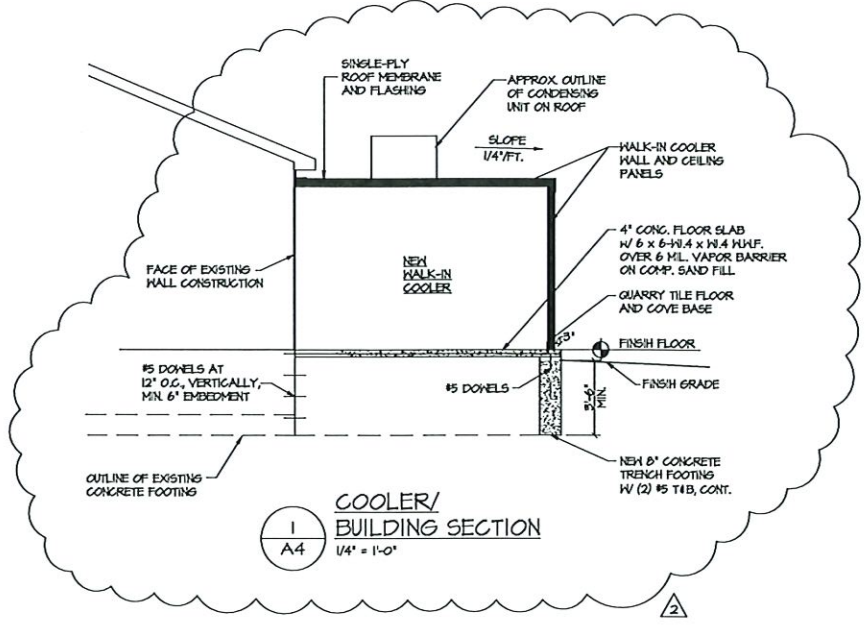
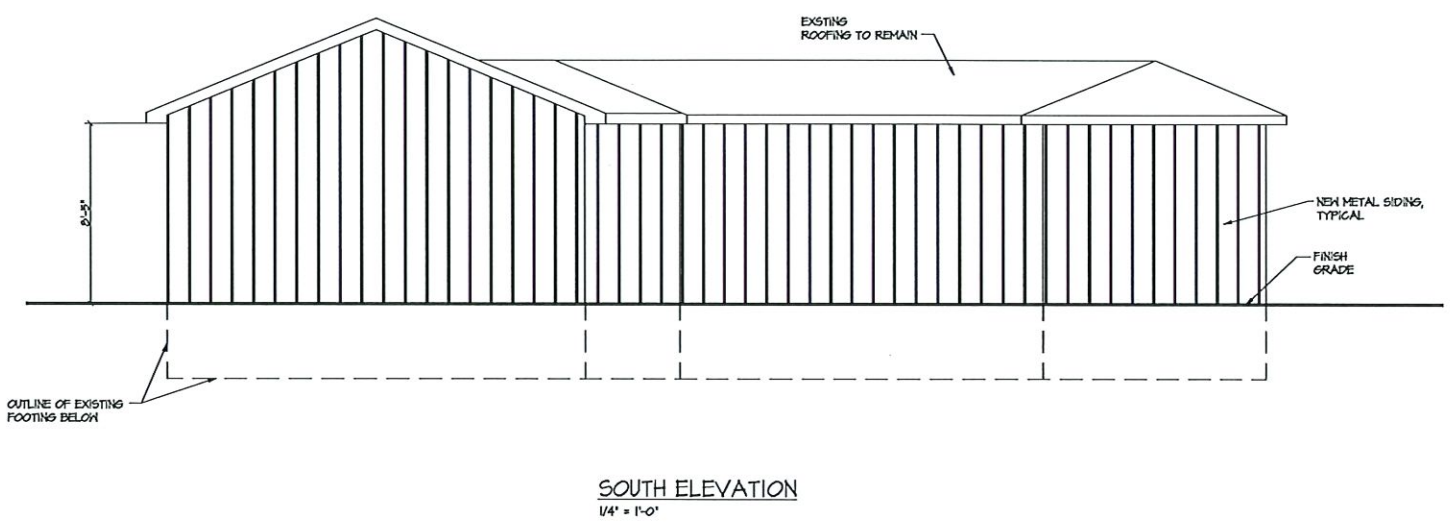
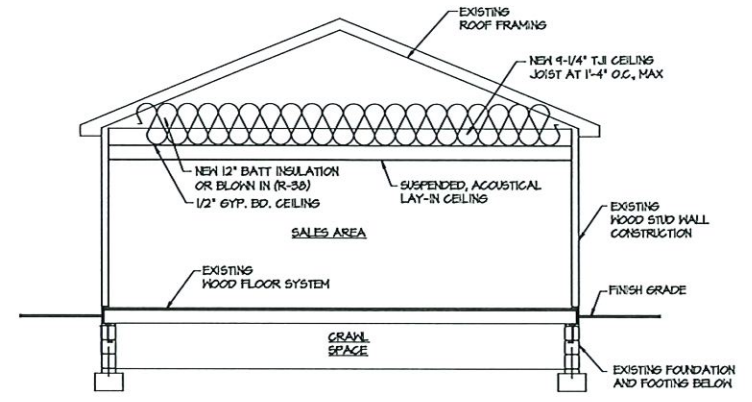
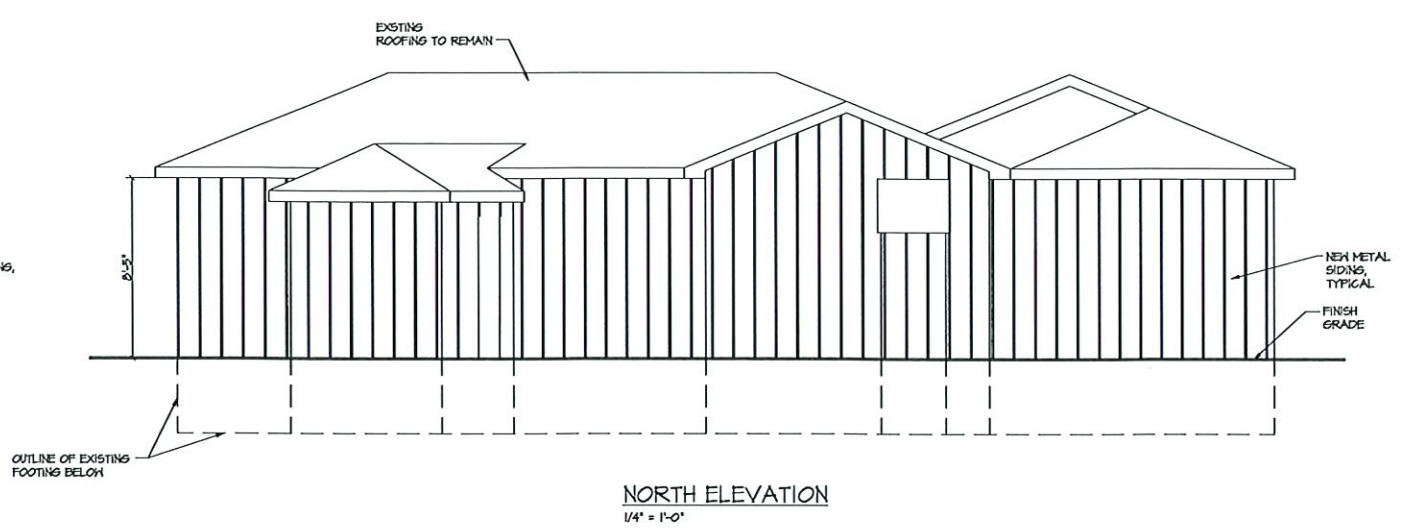
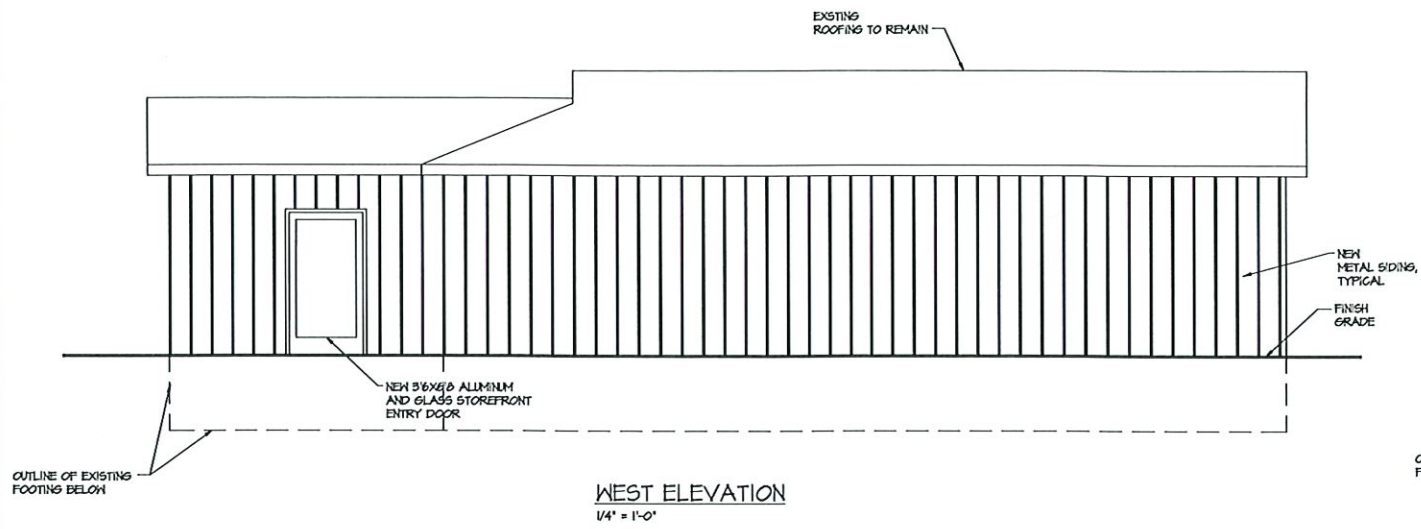
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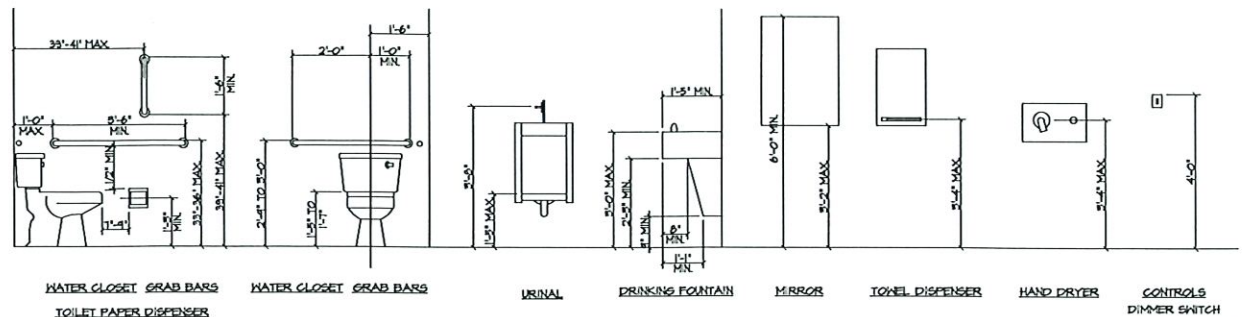
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REVISIONS	
1	8-7-2025
2	4-6-2025

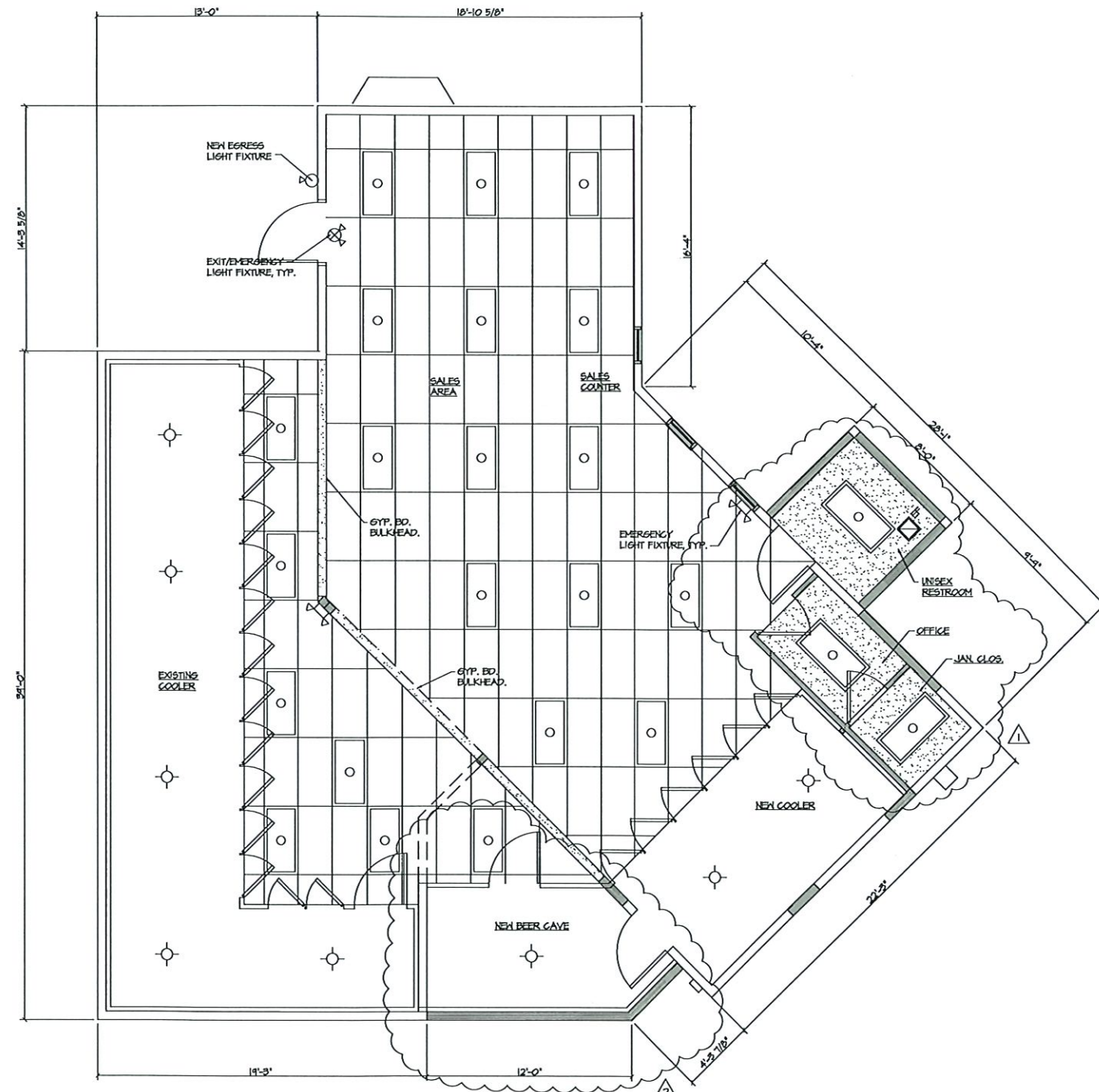
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TYPICAL BARRIER FREE MOUNTING HEIGHTS
 ICC/ANSI A117.1-2003 AND MICHIGAN BUILDING CODE
 NO SCALE

- CONTROLS
- DIMMER SWITCH
- HVAC CONTROLS
- SECURITY CONTROLS
- FIRE ALARM
- RECEPTACLE
- INTERCOM



REFLECTED CEILING PLAN
 1/4"=1'-0"

LEGEND		
TYPE	SYMBOL	DESCRIPTION
'A'	[Symbol]	2 x 4 LAY-IN RECESSED FLUORESCENT FIXTURE
'B'	[Symbol]	1 x 4 LAY-IN RECESSED FIXTURE
'C'	[Symbol]	DOWNLIGHT
'D'	[Symbol]	DECORATIVE PENDANT FIXTURE
'E'	[Symbol]	DECORATIVE WALL SCONCE FIXTURE
'G'	[Symbol]	TRACK LIGHTING
'H'	[Symbol]	2 x 2 LAY-IN RECESSED FIXTURE
'EM'	[Symbol]	EMERGENCY LIGHT
'EM/EXIT'	[Symbol]	COMBINATION EXIT/EMERGENCY LIGHT
'XE'	[Symbol]	EXIT LIGHT
	[Symbol]	RETURN AIR GRILLE
	[Symbol]	SUPPLY AIR SQUARE DIFFUSER
	[Symbol]	2'X2' LAY-IN CEILING TILE
	[Symbol]	2'X4' LAY-IN CEILING TILE
	[Symbol]	GYP. BD. CEILING
	[Symbol]	EXHAUST FAN

JOHN K. COSTA, AIA
 ARCHITECTURAL DESIGN
 & CONSULTATION, PLLC
 417 O. LIND BLVD., 2ND FL.
 FISHKING, MICHIGAN 48433
 810-659-3373 FAX 810-659-3399

BUILDING RENOVATIONS FOR
 BEAR'S CONRNER PARTY STORE
 5519 N. ELMS RD., FLUSHING, MI 48433

REFLECTED CEILING PLAN
 AND NOTES

REVISIONS	
[Symbol]	8-7-2023
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[Symbol]	
[Symbol]	

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